



MYSTIQUE

WOLLERT

Lot Design Guidelines

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1.0 Overview

Mystique Estate is a premier neighbourhood created by Greencor Developments. Located approximately 40 minutes north of Melbourne's CBD, The estate is located within one of Victoria's fast growing housing corridors. Conveniently located within close proximity to the Hume Freeway, Mystique offers quality community living with a strong sense of character.

2.0 Purpose

The Design Guidelines are in place to create visual quality of the built form and produce an integrated streetscape. The Design Guidelines apply to all dwellings constructed within the estate. They encourage a variety of contemporary styles and modern designs that will be harmonious and provide a distinctive neighbourhood character. The use of façade articulation, various materials, colour palettes and siting solutions, will result in creating attractive streetscapes and a character to each and every home. Not only will this protect your investment, but will achieve the ultimate outcome for the Estate.

3.0 Allowed Land

- 3.1 Unless otherwise specified, only one dwelling is permitted per allotment.
- 3.2 The Design Guidelines prohibits further subdivision of all allotments.
- 3.3 No dual occupancy dwellings or relocatable homes are permitted within the estate unless otherwise agreed with the Responsible Authority.
- 3.4 These are mandatory requirements and will not be waived under any circumstances.

4.0 Construction Time

Construction of your dwelling must commence within 12 months, and completed within 24 months from the date of settlement of your land.

5.0 The Design Guidelines Process

Step 1: Once you have purchased your property, decide upon your builder, house design and façade.

Step 2: Once you have decided upon the design with your builder, review the details of the Design Guidelines, MCP and Building Envelopes with your designer to ensure all aspects of the development criteria are complied with.

Step 3: Complete the Application Form and Builders Checklist, compile the required documentation for assessment and submit to the Mystique Design Review Committee (DRC) for assessment.

Step 4: Within 10 Business days, the DRC will provide written comments relating to the application. These comments will either be a further information request or the issue of an endorsed approval.

Step 5: Should the initial application fail, you will be required to amend any necessary changes and resubmit the application to the DRC for further review.

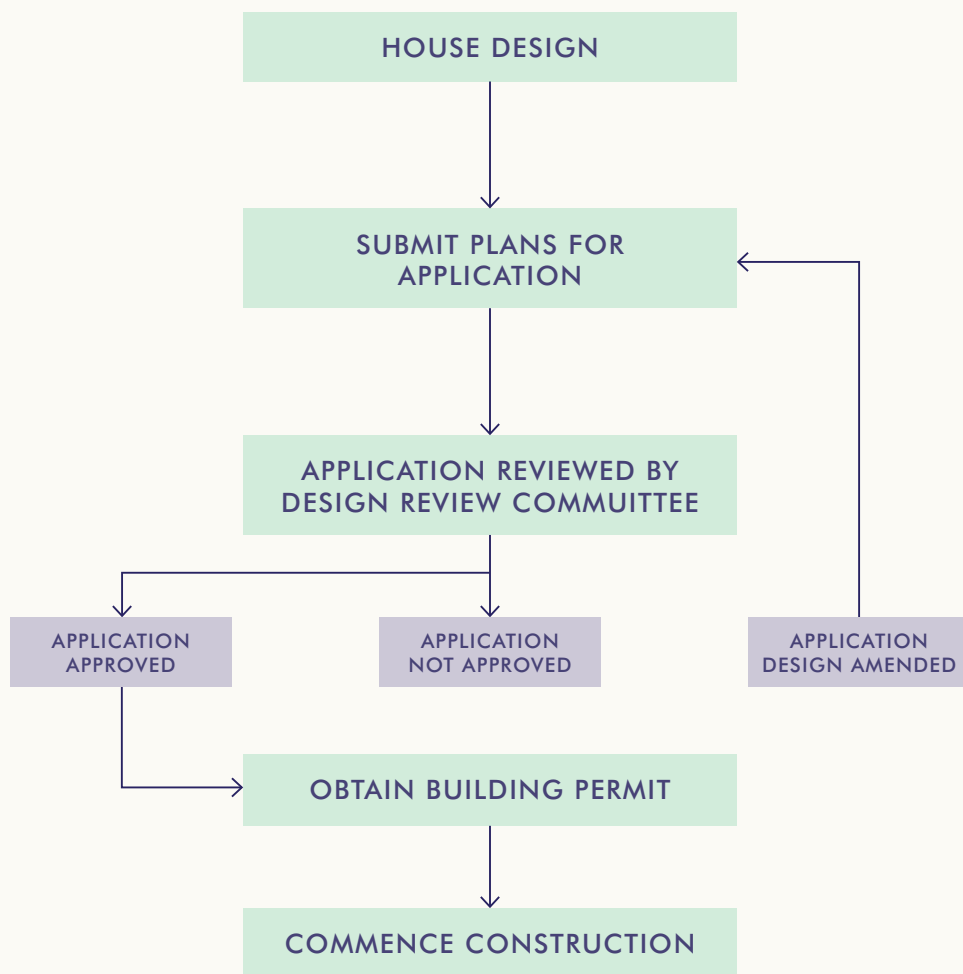
Step 6: Once the application has received Final Approval, you will be required to obtain a Building Permit through a licensed Building Surveyor prior to construction of your dwelling.

The following information is required to be submitted with the Design Application:

- 1 x Completed Application Form
- 1 x Completed Builders Checklist
- 1 x External Colour Schedule including: roof, walls, garage doors, finishes and manufacturers details
- 1 x House plans: Site plan (min scale) 1:200 including: setbacks, Site Levels (contours), extent of earthworks, FFL to House and Garage. All Fencing location, material and heights
- Dimensioned Floor Plans (min scale 1:100)
- All Elevations (min scale 1:100). Elevations are to include building and wall heights, roof pitches, eave size, and external fixtures
- Cross sections indicating details of ceiling heights
- Landscape Concept Plan

6.0 Building Approval Flowchart

Note: Applications will not be assessed unless all documentation has been submitted with the assessment. Until such time, applications will be returned to the applicant to fulfil the assessment criteria.



7.0 Applications Are to be Emailed to

Mystique Design Review Committee
Taylors Development Strategists

Email: design.guidelines@taylorsds.com.au

8.0 Dwelling Size

- 8.1 For allotments under 450m², the minimum dwelling size is 120m² - excludes garage, porch, verandah, pergola, balcony or alfresco areas.
- 8.2 For allotments greater than 450m², the minimum dwelling size is 150m² - excludes garage, porch, verandah, pergola, balcony or alfresco areas.

9.0 Orientation, Siting And Setbacks

The correct siting and orientation of your house can result in minimizing the summer heat and harnessing the winter warmth. This will result in comfortable living throughout the year and also reducing running costs. Private living areas are encouraged to be located on the Northern side of the allotment.

Building Envelopes have been created for all allotments to provide consistency throughout the streetscape.

All dwellings must be sited so they are contained within the parameters of the building envelope shown within the Memorandum of Common Provisions (MCP) unless otherwise specified.

10.0 Sustainability

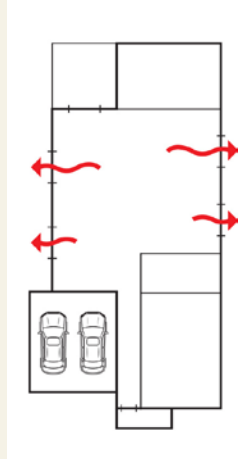


Figure 1. Cross ventilation

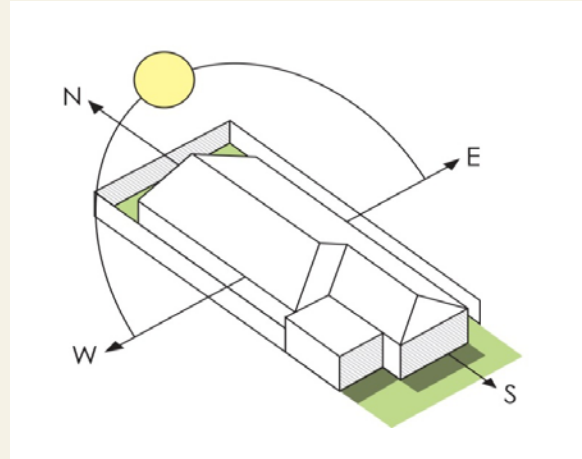


Figure 2. Appropriate solar orientation

Dwelling should be designed to minimize the impact on the environment, particularly by limiting the overall energy and water consumption for the household. All homes are required to achieve the minimum legislative energy efficiency requirements. Consideration should be given to other methods which may assist to further decrease the energy consumption of your home.

Consideration of the following principals is encouraged:

- Where possible orientate living area to the north.
- Design to take advantage of passive solar heating and cooling by maximizing north facing walls and glazing & providing reasonable shading of north facing windows
- Minimize east and west (in particular) orientated glazing
- Incorporate eaves to the roof design
- Orientate your home to catch prevailing breezes and take advantage of cross ventilation (including internal doors)
- Consider landscaping to provide shade
- Zoning of areas within the home so heating and cooling is provided only when required



Figure 3. Contemporary modern facades permitted

11.0 Architectural Style

To ensure that high quality designs and finishes are used at Mystique. Dwellings should have a modern contemporary style.

Decorative elements such as turned posts, finials and fret work should be minimized. All mouldings should be square or rectangular.

Dwellings are encouraged to incorporate a high level of articulation to provide an interesting streetscape.

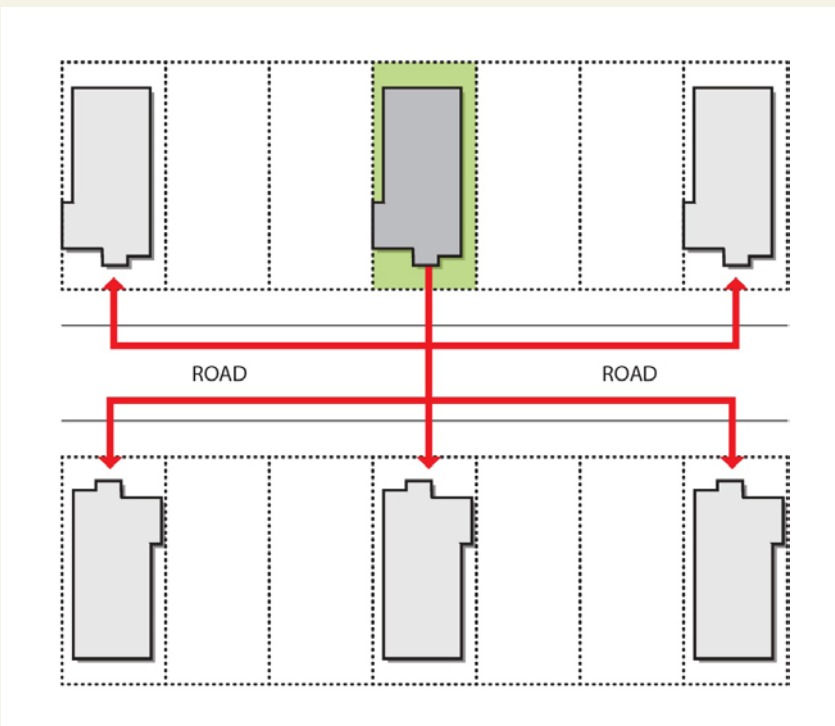


Figure 4. 1 In 3 allotment separation

12.0 Façade Replication

Two dwellings with similar façades are not permitted to be constructed within 3 allotments of each other in any direction. Each allotment should have its own distinct feature elements that distinguish it from the neighbouring sites.



Figure 5. Appropriate entry features

13.0 Entry Features

- 13.1 An entry feature must be incorporated into the façade design of the home. An entry feature must be a suitable substantial covered structure such as a portico, porch or balcony. An entry must be clearly visible with direct access from the street frontage and must be forward of the main building line.
- 13.2 An entry feature is required to have a minimum depth of 1.5m and a minimum width of 1.6 metres. The area of an entry must achieve a minimum area of 4m². The calculation of both the size and area dimensions can include the entry recess. Eaves are not to be included in the area calculation.
- 13.3 Entries must be located on the main street frontage façade.

14.0 Material

- 14.1 The façade must incorporate a minimum of 2 different materials. A minimum of 20% of the façade must be a feature material other than brickwork. Suggested feature materials are render, timber cladding and stacked stone. Feature materials are to be designed as a contrast to the brickwork.
- 14.2 Materials used on the façade must return a minimum 1.0m on non-corner allotments.
- 14.3 Materials used on the façade must return to the fence line on all corner/reserve allotments.
- 14.4 The front façade of dwellings on allotments 16m wide or greater must have a minimum of two rooms with windows facing the main street frontage.
- 14.5 The external colour scheme of your home should be neutral tones that blend in with the surrounding environment. Muted tones are preferred. Black and white colourings are not permitted.
- 14.6 Lightweight infill materials are not permitted above windows and doors. This includes, but not limited to: FC cement sheeting, Hardiflex cladding or similar. The material used above windows and doors is required to match the adjoining surface.
- 14.7 Unpainted metalwork is not permitted.
- 14.8 Downpipes, Gutters and Fascia must be colour coordinated with the remainder of the façade.
- 14.9 Sliding windows are not permitted on the front façade.



Figure 6. Modern contemporary designs with varying facade materials and neutral tones

15.0 Ceiling Heights

The minimum ceiling height for a dwelling is 2550mm from the internal floor Level.

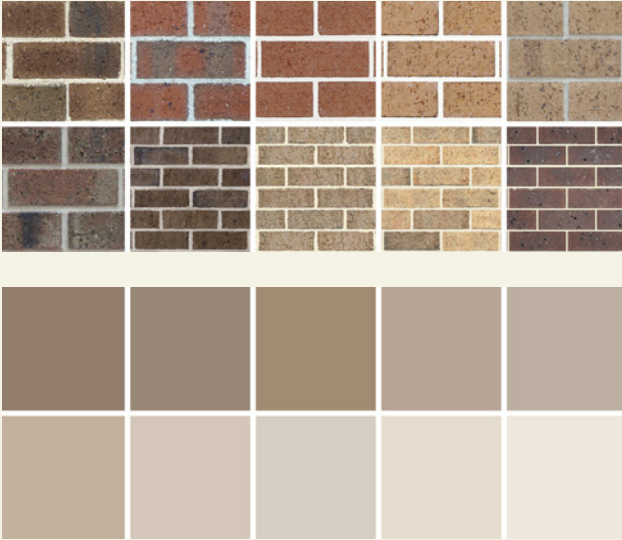


Figure 7. Neutral external colour palette

17.0 Vehicle Accomodation

- 17.1 All garages must be setback a minimum of 840mm from the main building alignment of the dwelling. The main building alignment is defined as the outer most projection of the building excluding: Porches, Porticos, Balconies or similar entry features.
- 17.2 Single garages only must be setback a minimum of 5.5 metres from the front boundary.
- 17.3 Garage openings must be no more than 40% of the width of the lot frontage. In the case of a double storey dwelling on an allotment with a frontage of less than 12 metres, a garage opening must not exceed 25% of the area of the front façade of the dwelling.
- 17.4 Garage doors facing a street frontage must be sectional overhead, panel style and colour coordinated with the dwelling.
- 17.5 Refer to the registered building envelope for garage size requirements.
- 17.6 Triple garages and Carports are strictly prohibited.

16.0 Roof Design

- 16.1 Roof pitch must be 22.5 minimum. Flat roofs are permitted under architectural merit.
- 16.2 Roofs must be constructed from terracotta, slate or concrete tiles.
- 16.3 Colorbond roofing is permitted. Zincalume corrugated iron sheeting is prohibited.
- 16.4 Roof colours are to be of neutral tones.
- 16.5 Dwellings must have eaves with a minimum depth of 450mm to all facades visible to the street. Eaves must return a minimum 1.0m on all non-corner allotments and the full length to all corner/reserve allotments.

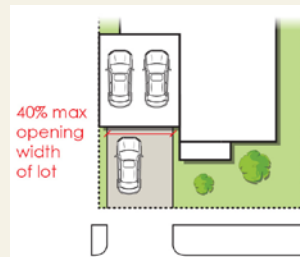


Figure 8. Garage setback and stagger

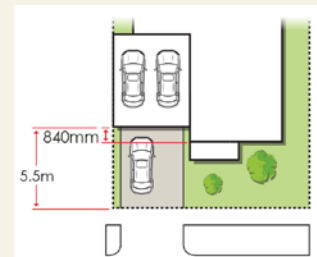


Figure 9. Garage opening maximum 40% of lot width



Figure 10. Sectional panel lift doors acceptable

18.0 Corner Allotments

- 18.1 Consideration must be given to the side street/reserve elevations visible to the public. Both single and double storey dwellings on corners are to be designed incorporating feature elements that address both street frontages.
- 18.2 The area visible to the public forward of the return fence must include either a wrap-around verandah, porch/portico feature matching the façade, pergola structure or a similar architectural element that defines the side street/reserve elevation.
- 18.3 The side street elevation facing either a corner or reserve must include feature window(s) matching the style of the window(s) on the main façade. Windows alone will not be a satisfactory solution for corner treatment; a design element noted in item (13.1) is required to accompany windows. Highlight windows are discouraged.
- 18.4 Materials used on the façade are required to return along the side street/reserve elevation to meet the fence line. This includes eaves.
- 18.5 Blank walls facing the side street is not permitted.
- 18.6 Sliding windows must not be used on side street elevations where they will be visible to the street.



Figure 11. Appropriate corner treatment to include windows and structures

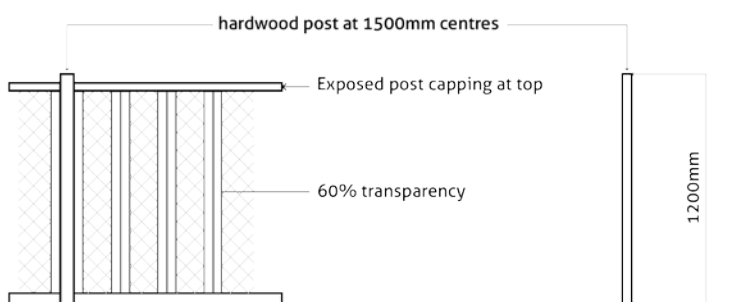


Figure 12. Appropriate corner treatment to include windows and structures

19.0 Dual Frontage Allotments

- 19.1 Dwellings constructed on dual frontage allotments must address both frontages.
- 19.2 A front verandah, portico, porch or other entrance feature must address both frontages, including an entry door.
- 19.3 One habitable room window must face both frontages.
- 19.4 Both frontages must incorporate a minimum of 2 different materials.
- 19.5 Fencing facing the reserve must be 1200mm high constructed of capped timber and must be at least 60% transparent. Refer Figure 12.

20.0 Dual Occupancy Allotments

- 20.1 Dual occupancy is permitted on the allocated allotments throughout Mystique. Each development is required to conform to the Mystique Design Guidelines set-out in this document and the Plan of Subdivision restrictions. Furthermore, the below requirements are to be adhered to and will replace the specific requirements within.
- 20.2 The façade of each dwelling must incorporate similar aspects. (Replaces 12.0)
- 20.3 An entry feature is required to have a minimum depth & width of 1.0m. (Replaces 13.2)
- 20.4 Materials including eaves used on the facade must return a minimum 600mm. (Replaces 14.2)
- 20.5 Where one dwelling faces the side street, corner treatment is required to return along the side street elevation to meet the fence line. This includes eaves. (Replaces 18.5)

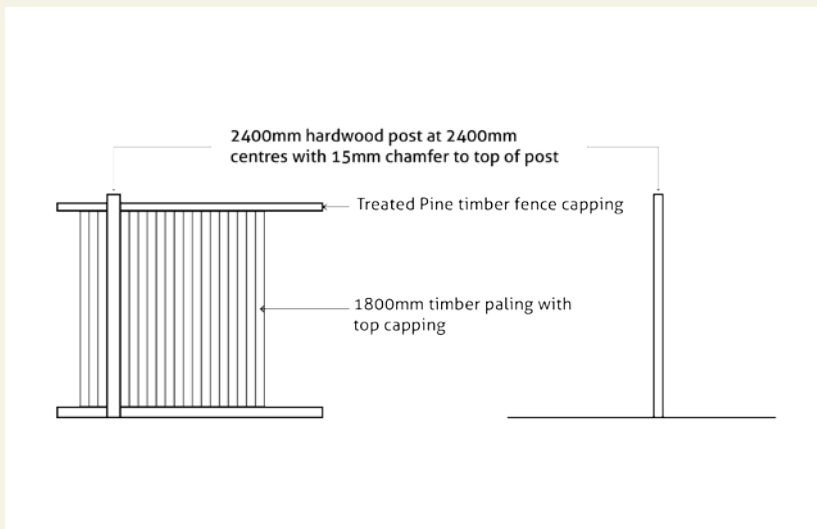


Figure 13. Side and rear boundary fencing

21.0 Fencing

- 21.1 Side and rear boundary fencing is to be constructed of 1800mm timber paling with 20mm overlap, top capping, and posts at 2700mm spacing. Refer Figure 13.
- 21.2 Side Boundary fencing must be setback a minimum of 1 metre behind the main building line. Return fencing/gates must be constructed of material to complement the dwelling.
- 21.3 Fencing to side streets (corners) and reserves must be no greater than 60% of the allotment depth (measured from the longer boundary). This will expose the side street feature windows/treatment.
- 21.4 Front fencing is not permitted.
- 21.5 Retaining walls should not exceed the height of 1.2 metres. Retaining walls should complement the dwelling constructed from timber sleepers, stone, brick or other complementary materials.



Figure 14. Appropriate Driveway Materials And Finishes

22.0 Driveways

- 22.1 Driveways must be fully constructed within 30 days of the issue of the certificate of occupancy.
- 22.2 Acceptable driveway construction materials are: Coloured concrete, brick or concrete pavers, exposed aggregate.
- 22.3 Plain concrete driveways and front paths are not permitted.
- 22.4 The driveway shall be no wider than the total width of the garage and tapering to match the width of the crossover.
- 22.5 A minimum 500mm Landscape strip is required between the driveway and the side boundary.
- 22.6 Only one driveway is permitted per allotment.
- 22.7 Crossover relocations are permitted with the approval from the relevant authority. All costs associated with the crossover relocation are at the allotment owner's expense.

23.0 Landscaping

Landscaping plays an integral part in assisting to soften built form of the streetscape. It is also a useful element in providing privacy screening and shade during summer. The selection of planting should be appropriate for the conditions of placement, such as orientation, solar access and the topography of the land. Careful landscape and plant selection should minimize the need for garden watering.

- 23.1 Impermeable areas (hard surfaces) should not dominate front yard designs and should be limited to essential areas such as driveways and pathways.
- 23.2 60% of the front landscape should be a combination of vegetated garden beds, canopy trees, ground covers and turf. (Synthetic turf is permitted)
- 23.3 Garden beds should be mulched and where mulch is used, it must be natural in colour
- 23.4 It is the responsibility of the allotment owner to establish and maintain turf on nature strips. No crushed rock or Lilydale topping permitted.
- 23.5 Front gardens must be fully landscaped within 3 months of the certificate of occupancy being issued.
- 23.6 Water saving techniques, including but not limited to plant selection, drip irrigation, recycled water use and mulching of garden beds, should be utilised where possible
- 23.7 Letterboxes are required to be constructed in accordance with Australia Post standards NO SINGLE POST

24.0 Ancillary Structures and Outbuildings

The following structures are not permitted to be visible from the main street frontage, or Side Street of corner/ reserve allotments:

- External Hot Water Services
 - Ducted heating units
 - Rainwater Tanks
 - Fuel Storage tanks
 - Clothes lines
 - Sheds
- 24.1 Any roof mounted satellite dishes and TV aerials are to be located to the rear of the house and be as low as possible on the roof. Alternatively they must be located within the roof space.
- 24.2 Boats, caravans, trailers, commercial vehicles or other recreational vehicles are not permitted to be parked on your property unless they are screened from public view.
- 24.3 Air conditioning units are to be located away from public view. Any roof-mounted air conditioners or evaporative cooling units must be located to the rear of the house, be of low profile and installed below the ridgeline. They should be coloured to match the roof.
- 24.4 External plumbing fittings and units (including spa equipment) are not to be visible from streets or reserves.
- 24.5 Solar panels should be located on the elevation that provides the most suitable solar access. They are not permitted on the facade elevation, facing the primary street.
- 24.6 Roll down security shutters are not permitted.

25.0 Outbuildings

- 25.1 Maximum height to sheds is 3.6 metres. Sheds are to be constructed from colorbond or similar. The maximum floor areas of sheds are to be 15m².
- 25.2 Outbuildings should be constructed of timber or colorbond materials, be colour coordinated with the dwelling and not be visible from the street or reserve.
- 25.3 Approval from the DRC must be obtained prior to construction of any sheds or outbuildings.

26.0 During Construction

- 26.1 **Signage**
Signage and hoarding boards advertising businesses and products are not permitted. Builders' signs of maximum size 600mm x 600mm are permitted as required on allotments during the course of construction, and must be removed upon completion of construction.
- 26.2 **Temporary Structures**
Builders' structures such as site sheds, site toilets and power generators are permitted as necessary on allotments during the course of construction, and must be removed upon completion of construction.

27.0 Rubbish Disposal and Allotment Maintenance

- 27.1 Under the Whittlesea Building Code a person undertaking building works must provide the following:
- a toilet; and
 - a rubbish container; and
 - site fencing; and
 - site identification;

To the satisfaction of an Authorised Officer and the person complies with any Building Code of Practice adopted by Council.

- 27.2 A person undertaking building works must ensure all litter and building waste must be secured in a skip or a cage with a lid - to prevent it from blowing away. It must be emptied during, and at the end of construction
- 27.3 A person undertaking building works or the operator of any vehicle associated with such works must not allow sediment, slurry, mud, clay or debris from the building site to be deposited in or on any public place or road.
- 27.4 A person undertaking building works must notify Council in writing before the commencement of the works of any damage to any road or other Council assets likely to be affected by the works. (Damage to any of these assets which exists after the completion of the building works will be deemed to be caused by and must be repaired by the person undertaking the building works.)
- 27.5 Dumping of rubbish (including building materials and site excavation material) on vacant allotments is illegal.
- 1.6 Grass and weed growth on vacant allotments is to be slashed or mowed at regular intervals.
- 1.7 Council's Authorised Officers can take enforcement action if the Local Law is breached. Notices to Comply can be served requiring a bin or toilet to be placed on the land and Penalty Notices can be issued for committing the offence of not providing the bin or toilet.

For more information on local laws and penalties relating to Building sites refer to Whittlesea Council website:

www.whittlesea.vic.gov.au

Application Form Mystique Design Review Committee

Please detach this form and complete the details for the submission to the Design Review Committee for plan approval.

Property Details

Lot Number:

Street Number:

Estate Stage Number:

Application Information (Preferred Contact)

Name:

Current Address:

Post Code:

Telephone:

Mobile:

Email:

Owner(s) Details

Name:

Current Address:

Post Code:

Telephone:

Mobile:

Email:

Builder/Building Designer/Architect Details

Name:

Current Address:

Post Code:

Telephone:

Mobile:

Email:

Include the following documents
(tick box)

*Allow a minimum of 10 working days
for processing and assessment on the
provision all required documentation
is submitted.

Mystique Design Submission Requirements

- ☐ Site plan (min scale 1:200) including: setbacks from all boundaries, Site Levels (contours), extend of earthworks, FFL to House and Garage, driveway access and path details, all Fencing locations, materials and heights.
- ☐ Dimensioned Floor Plans (min scale 1:100), window positions, roof plan
- ☐ All Elevations (min scale 1:100). Elevations are to include building and wall heights, roof pitches, eave size, external fixtures, external surface finishes
- ☐ Cross sections indicating details of ceiling height.
- ☐ Schedule of external materials, colours and finishes, including driveway.
- ☐ Landscaping concept plan.
- ☐ Application Form
- ☐ Builder Design Checklist

Builder Design Checklist

Item	Design Guidelines Checklist	Yes	No	N/A
3.1	Only one dwelling proposed per Lot	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.2	No further sub-division on allotments less than 600m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.3	No dual occupancy or relocatable home.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.0	Dwelling will commence construction within 12 months and be completed within 24 months from land settlement.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.0	Have you submitted plans to the DRC for review and approval	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.1	Allotments under 450m ² minimum dwelling size is 120m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.2	Allotments greater than 450m ² minimum dwelling size is 150m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9.0	Dwelling & Garage within the registered building envelopes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10.0	Dwelling has been designed to minimize the impact on the environment and to achieve the minimum legislative energy efficiency requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11.0	Modern contemporary style	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12.0	The same façade has not been used within 3 allotments of one another	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.1	A suitable entry feature has been incorporated into the façade with direct access to the street & forward of the main building line	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.2	The entry feature is 1.5m deep and 1.6m wide and 4m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.3	The entry is located on the main street frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.1	2 different materials used on the Facade	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.2	Material return for non-corner allotments is 1.0m	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.3	Material return on corners/reserves to the fence line	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.4	2 room frontage on allotments 16m or greater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.5	External colours are neutral muted tones	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.6	Lightweight infill not permitted, material above openings to match adjoining surfaces on Facade	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.7	Unpainted metal work has not be used	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.8	Downpipes, gutters and fascia is colour coordinated with the remainder of the façade	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Builder Design Checklist

Item	Design Guidelines Checklist	Yes	No	N/A
14.9	Sliding windows have not been used on the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.0	Minimum 2550mm ceiling height provided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.1	Minimum roof pitch of 22.5. Flat roof permitted under architectural merit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.2	Roof constructed from: terracotta, slate or concrete tiles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.3	Colorbond roof in suitable colour. Zincalume sheeting prohibited	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.4	Roof colour is of a neutral tone	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.5	Minimum 450mm eaves to the Façade with minimum 1.0m return on non-corner allotments & full length on corner/reserves	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17.1	The garage is setback 840mm behind the main building alignment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17.2	A single garage is setback a minimum of 5.5 metres from the front boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17.3	The garage opening is no wider than 40% of the width of the lot frontage. On a lot less than 12 metres, a double storey dwelling garage opening does not exceed 25% of the area of the front facade	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17.4	Garage entry door is sectional overhead/panel lift, colour coordinated with the dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17.5	Single garage on allotments 10.5m or less, Double garage on all other allotments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17.6	Triple Garages & Carports prohibited	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.1	Consideration has been given to side street elevation on a corner allotment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.2	Allotments abutting Red Gum treated as a reserve	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.3	Area visible to the public on a corner allotment must incorporate a wrap-around verandah, porch/portico feature, pergola or similar architectural element	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.4	Windows to corner/reserve matches façade windows and are inclusive of articulation feature (windows are not a suitable solution for corner treatment if not accompanied by an articulation element)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.5	Materials to the façade return to the fence line on the corner side elevation of dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.6	No blank walls facing are located on the corner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18.7	Sliding windows have not been used where they are visible to the side street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19.1	Consideration has been given to dual frontage allotments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Builder Design Checklist

Item	Design Guidelines Checklist	Yes	No	N/A
19.2	A front verandah, portico, porch or other entrance feature to both frontages	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19.3	One habitable room window to both frontages	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19.4	2 different materials to both frontages	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19.5	Fencing facing the reserve to be 1.2m high constructed of capped timber palings with a 60% transparency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20.1	Dual Occupancy permitted on allocated allotments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20.2	Each façade must incorporate similar aspects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20.3	Entry feature, minimum depth and width of 1.0m	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20.4	Minimum material return of 600mm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20.5	Dwelling address corner treatment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21.1	Side & rear fencing is a maximum 1.8m high timber paling with 20mm overlap, top capping, posts at 2700mm spacing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21.2	Side fencing is setback a minimum of 1 metre behind the building line in materials that match the dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21.3	Fencing to corner/reserves is no greater than 60% of the allotment depth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21.4	Front fencing prohibited	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.5	Retaining walls do no exceed 1.2 metres, constructed in appropriate materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.1	Driveway will be constructed 30 days after certificate of occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.2	Appropriate driveway materials have been used	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.3	No plain concrete proposed for driveway or paths	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.4	Driveway is no wider than garage opening and tapers to match crossover	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.5	A minimum 500mm landscape strip has been installed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.6	Only one driveway permitted per allotment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22.7	Crossover relocation approval	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23.1	Impermeable surfaces do not dominate the front yard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Builder Design Checklist

Item	Design Guidelines Checklist	Yes	No	N/A
23.2	60% of the front landscape is vegetated garden, canopy trees, ground covers & turf	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23.3	Garden beds are mulched in natural colour	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23.4	Nature strip has been established in turf (no crushed rock or Lilydale topping)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23.5	Front garden will be landscaped within 3 months of Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23.6	Water savings techniques are proposed to be installed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23.7	Letterboxes will be in accordance with Australian Standards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24.0	Ancillary structures have been located so they are not visible from the main street, corner/reserve	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24.1	Roof mounted satellite and aerials have been located to the rear and as low as possible on the roof	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24.2	Boats, caravans, trailers, commercial or other recreational vehicles have been screened from public view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24.3	Roof mounted air conditioning units have been located away from public view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24.4	External plumbing is not visible from public view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24.5	Solar Panels are not located on the primary street frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
25.1	Maximum height of an outbuilding is 3.6 metres, with a maximum floor area of 15m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
25.2	Outbuilding constructed in suitable material and colour coordinated with dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
26.1	No business or product signage will be installed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
26.2	Temporary structures will be removed site upon completion of construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27.1	Building works will be completed in accordance with Whittlesea Building Code	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27.2	A rubbish container will be placed on site during construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27.3	No sediment, slurry, mud, clay or debris will be placed on public places or road	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27.4	Council will be notified in writing prior to commencement of any works on site & damage to any council assets.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27.5	Dumping of rubbish on vacant allotments is illegal and will incur penalties	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27.6	Grass and weeds on vacant allotments is to be mowed and slashed regularly	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>