



## Kingston Mk3 Facade B

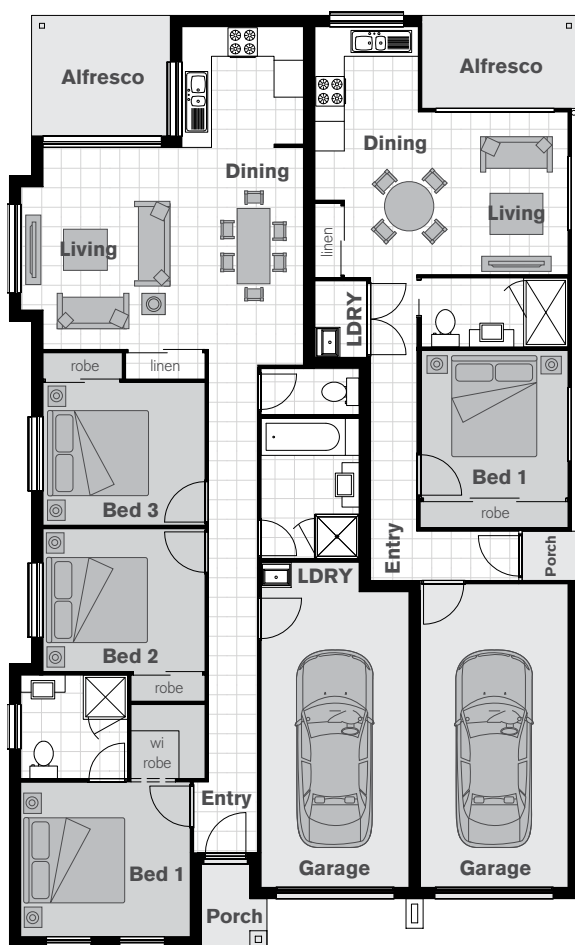
Lot 84 Azure Street  
"Rosehaven Estate - Stage 6"  
Rosewood QLD 4340

4  3  2 

Land Price .....	\$148,000
House Price (inc. GST).....	\$314,600
<b>TOTAL PACKAGE:</b> .....	<b>\$462,600</b>

### PACKAGE INCLUSIONS:

- Split A/C to Living Area
- Render to Front Facade
- Good Neighbour Fencing
- Fans Throughout inc Bedrooms
- Energy Efficiency
- T2 Blue Pine with 25 Year Warranty (Termite)
- Colorbond Roofing



HOUSE AREA: ..... 206 sqm

LAND AREA: ..... 600 m<sup>2</sup>

Floor plan is based on Facade A. Floor plans will differ slightly based on the facade chosen (for example, window locations may differ with different facades).

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haymanhomes.com.au



# House & Land Package Summary

Address	Lot 84 Azure Street, "Rosehaven Estate - Stage 6", Rosewood QLD 4340
---------	--

House Design	Kingston Mk3
Facade	B
House & Land Price	\$462,600
Land Price	\$148,000
House Price	\$314,600
Rental appraisal	Main Dwelling: \$300 Aux Unit: \$220
House size	206.7sqm
Land size	600m2
Bedrooms	4
Bathrooms	3
Garaging	2

Inclusions	Render to Front Facade
	Good Neighbour Fencing
	Split A/C to Living Area
	Fans Throughout inc Bedrooms
	Energy Efficiency
	T2 Blue Pine with 25 Year Warranty (Termite)
	Colorbond Roofing
	Initial Land Deposit - \$2,500

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**GREAT  
VALUE  
INCLUDED**



## Standard Inclusions Summary

These fantastic inclusions come standard in your brand new investment property. You can have peace of mind you are providing a great lifestyle to your tenants.

- ✓ R2.0 Batts to full ceiling area
- ✓ R1.0 Batts and Foil insulation to external walls
- ✓ Energy Efficiency compliance (min 6stars)
- ✓ WELS rating tapware and sanitary ware
- ✓ Feature panels to face of breakfast bar
- ✓ Smooth action panel door to garage
- ✓ Fully landscaped (turf to front and rear with feature garden bed to front)
- ✓ Full perimeter timber fencing including returns and side access gate
- ✓ Premium floor tiles to main floor area and wet areas
- ✓ Heavy duty surface stormwater pipes to perimeter of house
- ✓ Retaining walls as required
- ✓ Feature concrete driveway (stone exposed)
- ✓ Bushfire and Acoustic compliance as required
- ✓ Security screens to doors
- ✓ Full perimeter termite compliance
- ✓ Executive stainless steel appliances
- ✓ Window treatments (vertical easy slide)
- ✓ Ceiling fans to all bedrooms and living areas
- ✓ T2 Blue Pine frame (25 year termite warranty)
- ✓ Flat profile roof tiles
- ✓ Split cycle A/C to main living area

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## DWELLING AREAS

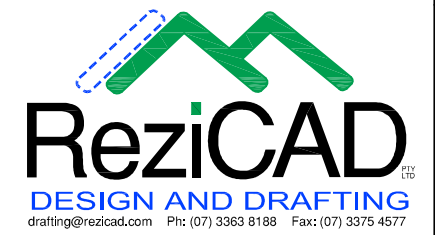
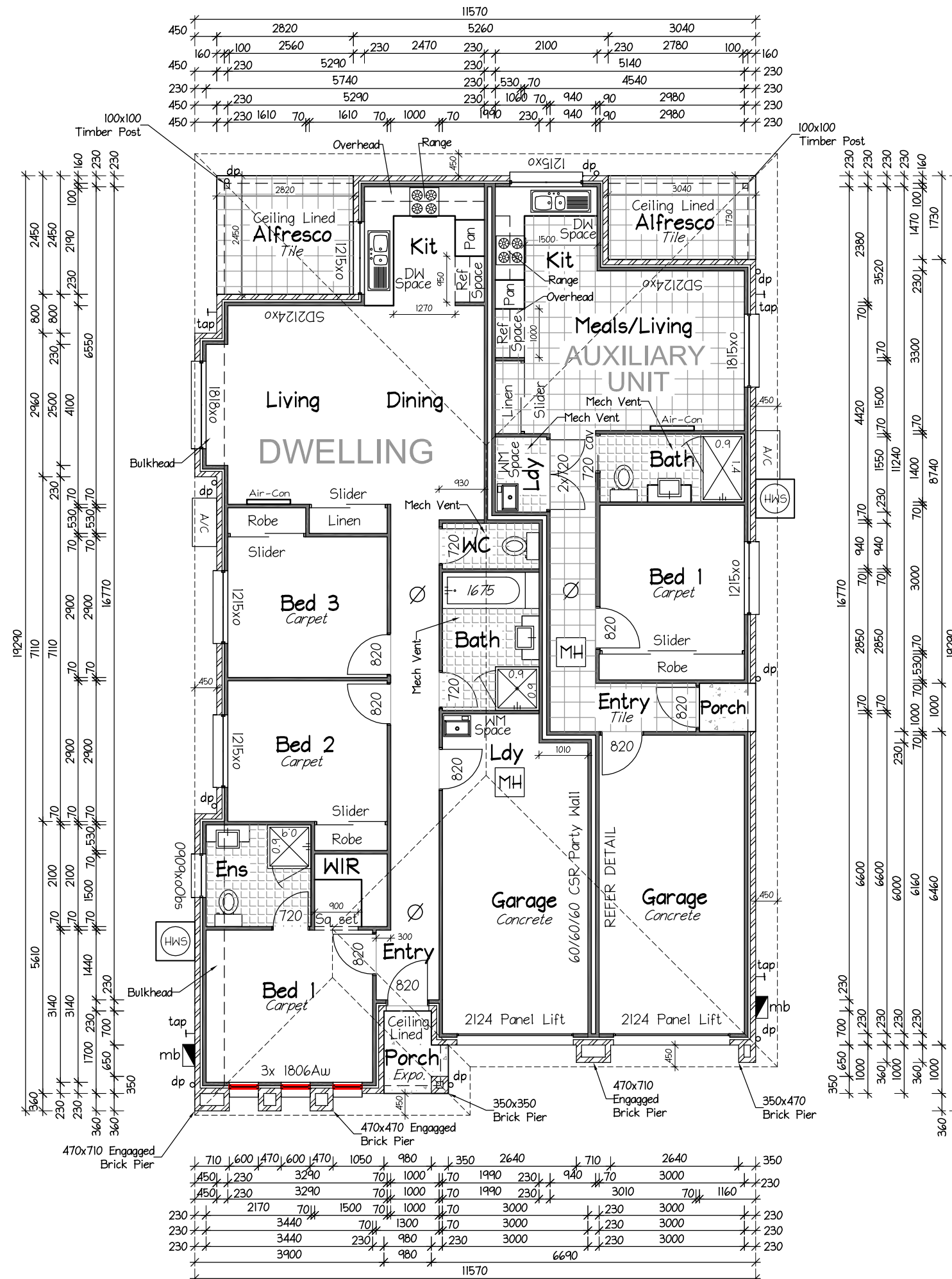
Living Area	98.5 sqm
Garage	21.0 sqm
Porch	2.0 sqm
Alfresco	6.9 sqm
<b>TOTAL</b>	<b>128.4 sqm</b>

## AUXILIARY UNIT AREAS

Living Area	51.7 sqm
Garage	21.5 sqm
Porch	1.2 sqm
Alfresco	5.2 sqm
<b>TOTAL</b>	<b>79.6 sqm</b>

## TOTAL AREAS

Main Dwelling	128.4 sqm
Auxiliary Unit	79.6 sqm
<b>TOTAL</b>	<b>208.0 sqm</b>



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Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

### NOTES:

- All dimensions shown on plans are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with A.S. 3660.0 parts A and B
- Windows to Bath, Ens & WC are clear glass unless otherwise noted.
- Q Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with BCA class 1 and class 10 parts 3.7.2 to A.S. 3786

### BUILDER

**HAYMAN HOMES**

### CLIENT

### SITE ADDRESS

### REAL PROPERTY DESCRIPTION

Lot -  
Registered Plan -  
Parish of -  
County Of -  
Site Area -

### Builders Job No.

Rev.	Revision Description	Date
A	Sales Plan	04/04/17

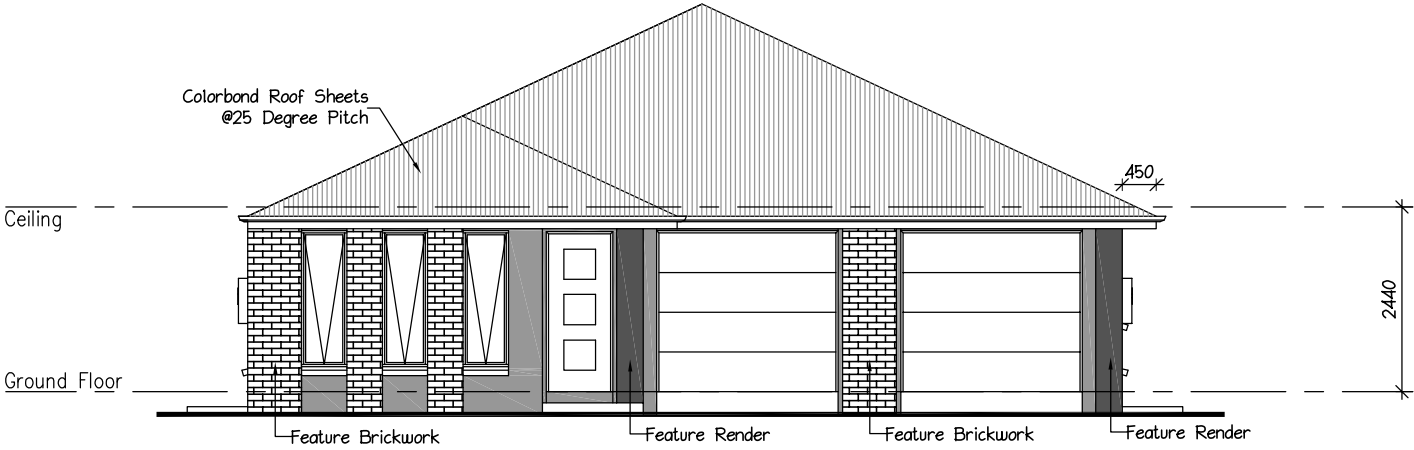
### DRAWING NAME

**GROUND FLOOR**

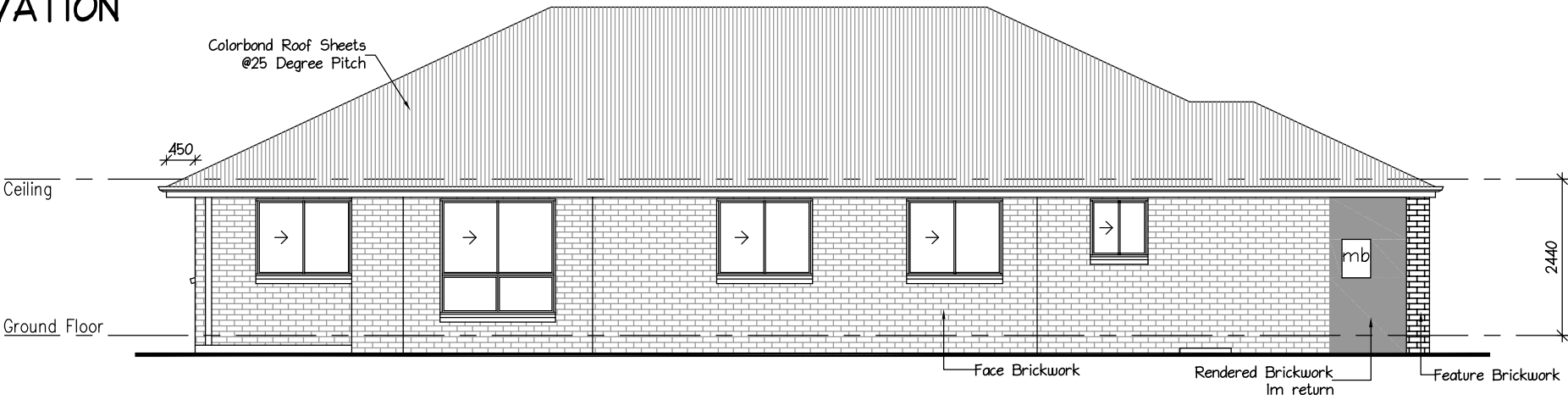
WIND N2 (W33)	SCALE 1:100
LICENCE 1153526	DATE -
Sheet No. 1 of 2	JOB No. 1560950



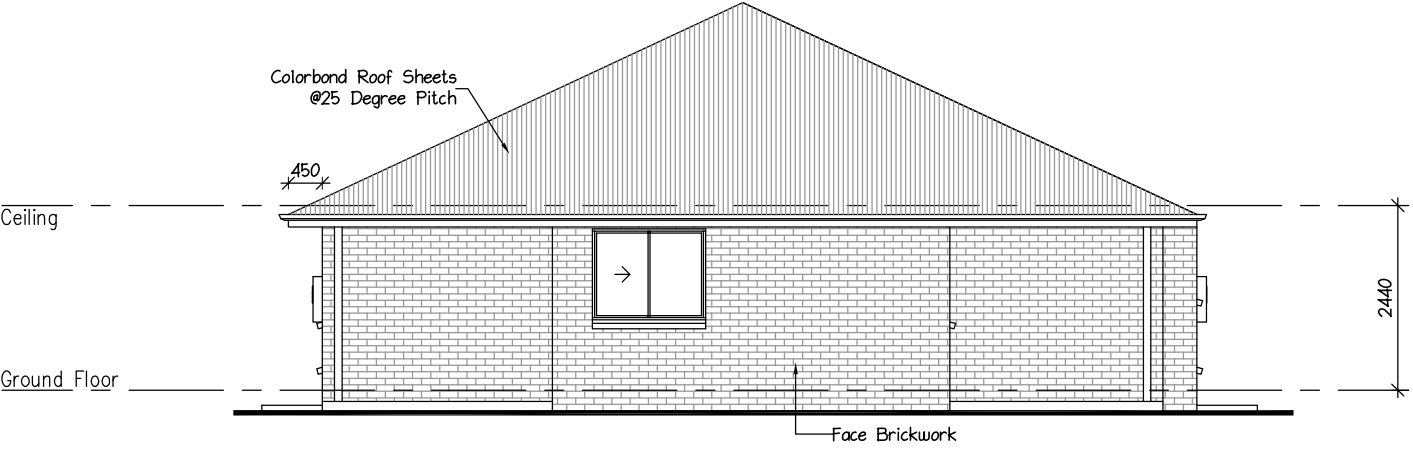
FRONT ELEVATION



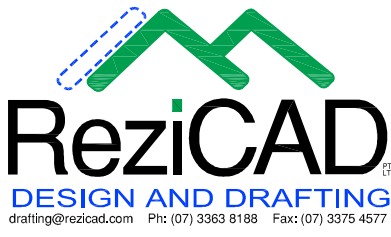
LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



House Design:  
**KINGSTON Mk3**  
Facade B

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Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

**BUILDER**  
**HAYMAN HOMES**

**CLIENT**  
**SITE ADDRESS**  
-  
-

**REAL PROPERTY DESCRIPTION**  
Lot -  
Registered Plan -  
Parish of -  
County Of -  
Site Area -

Builders Job No. --		
Rev.	Revision Description	Date
A	Sales Plan	04/04/17

**DRAWING NAME**  
**ELEVATIONS**

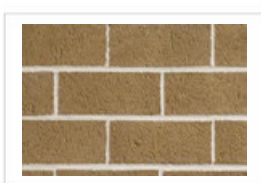
WIND N2 (W33)	SCALE 1:100
LICENCE 1153526	DATE -
Sheet No. 2 of 2	JOB No. 1560950

# Enlightenment

## External Colour Palette



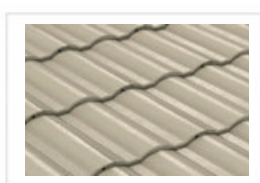
Coolum Mk4 Facade E



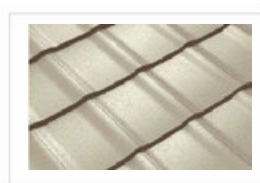
BRICK (JOINT: IRONED)  
Urban One: Latte



FEATURE BRICK (JOINT: IRONED)  
Metallix: Lava



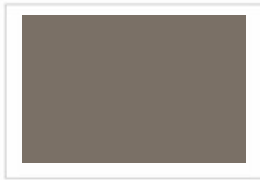
ROOF TILE  
Designer: Parchment



UPGRADE ROOF TILE  
Classic: Pebble



RENDER  
Taubmans "Hidden Peak" NH-50



FEATURE RENDER  
Taubmans "Cookie Jar T12 4.F11"



FRONT DOOR  
Taubmans "Storm front" NH-66



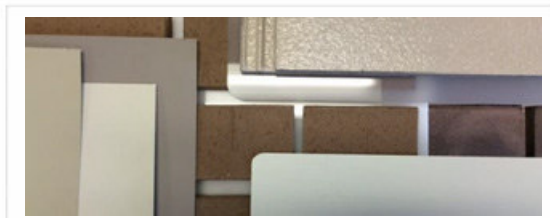
GARAGE DOOR  
Flatline: Surfmist



WINDOW  
Surfmist



WEATHERBOARD STYLE CLADDING  
Taubmans "Storm front" NH-66



ENLIGHTENMENT

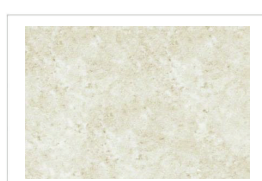


# Organic

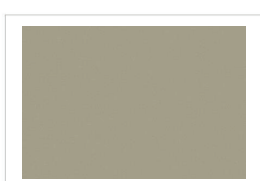
## Internal Colour Palette



Wattle



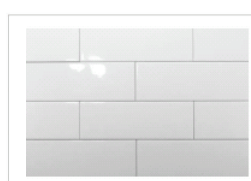
KITCHEN BENCHTOP  
Formica Alpine Marble



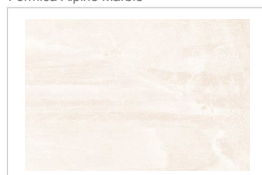
KITCHEN UNDERBENCH  
Formica Antler



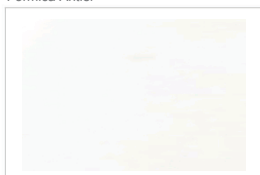
KITCHEN OVERHEAD  
Formica Gentle Beige



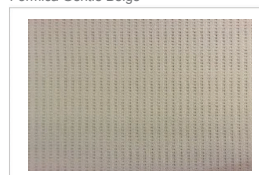
KITCHEN SPLASHBACK  
Gloss White 100 x 300 - Brick Lay



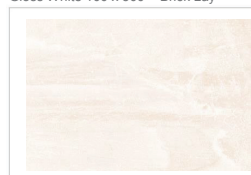
WET AREA FLOOR TILE  
Bistro Crema 450 x 450



WET AREA WALL TILE  
Gloss White 250 x 400



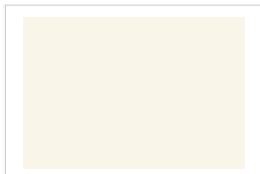
LIVING AREA CARPET  
Blast



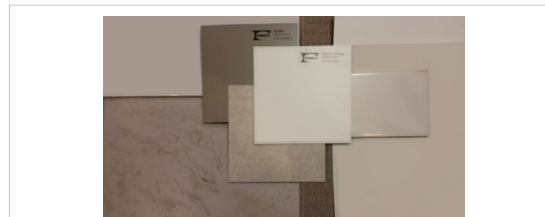
LIVING AREA TILE  
Bistro Crema 450 x 450



WALL PAINT COLOUR  
Taubmans Ageless



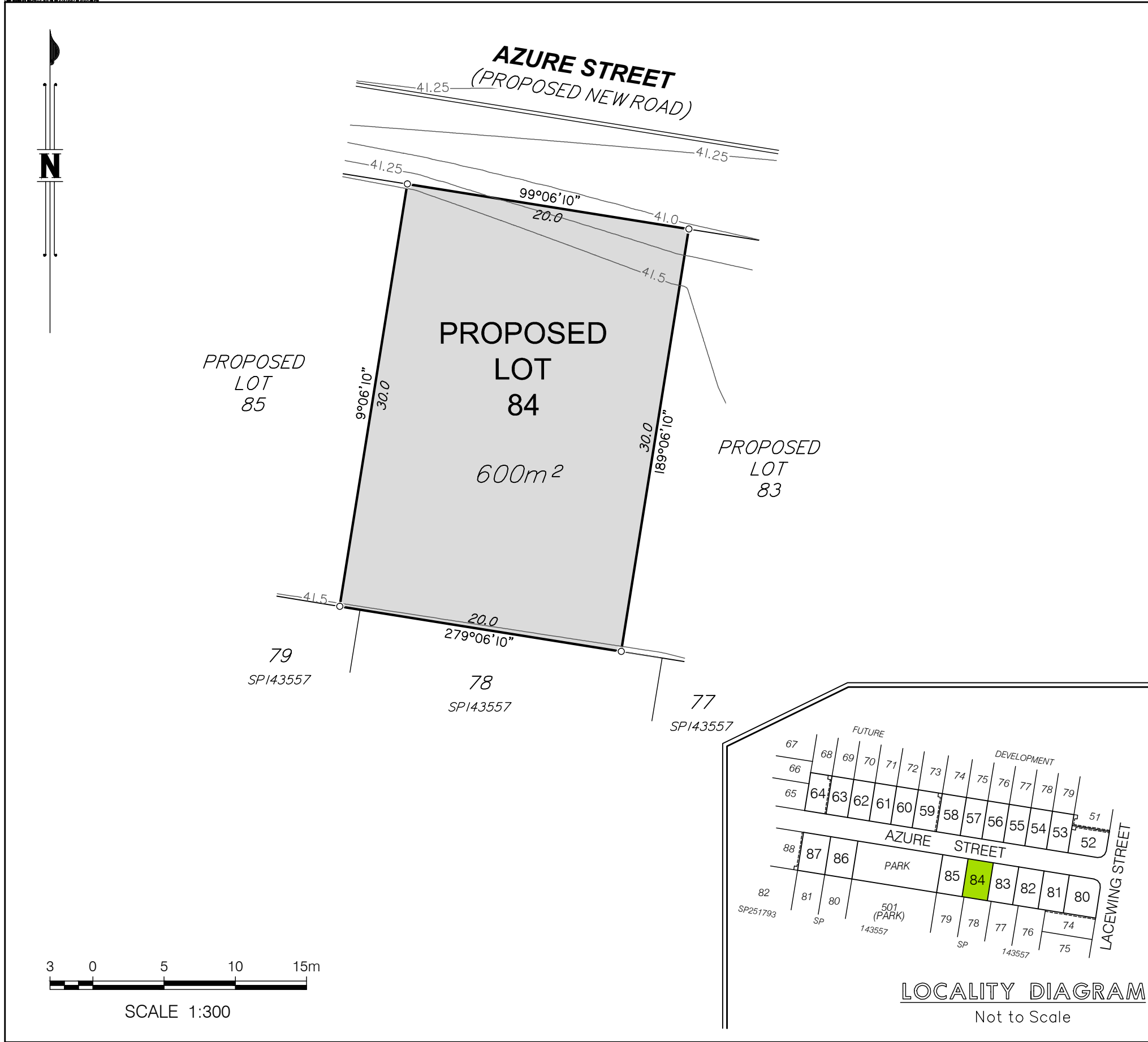
DOORS, SKIRTING & ARCHITRAVES  
Taubmans Illusive White Gloss



ORGANIC

Image is for illustrative purposes only. Image may depict fixtures, finishes and features not supplied by Hayman Homes such as alfresco decking, internal and external fireplaces, window and household furnishings and landscaping. Published price does not include the supply of these items. Image may depict optional variations to the house such as pendant and down lights which incur additional charges • Purchasers should inform and assure themselves by inspection, independent advice or as otherwise necessary prior to purchase • For more details please talk to one of our consultants. Hayman Homes (Australia) Pty Ltd ABN 83 150 533 378 QBCC 1286528





DISCLOSURE PLAN FOR PROPOSED LOT 84

This plan shows:  
Details of Proposed Lot 84 on the approved Reconfiguration Plan WC006320.000–002D dated 10/02/2015 which accompanied the development application for reconfiguration of Lot 2 on RP119434 at 23–45 Bassett Lane, Rosewood. A minor development approval was approved by Ipswich City Council on 14/10/2016 subject to conditions (Council Ref: 4713/2015/RAL)

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D.D. datum at an interval of 0.25m, shown as: —48.25—

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Ipswich City council Planning Scheme Policy #3, compliant with Australian Standard AS 3798–2007, with Level I certification.

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Natural Resources and Mines. Design contours shown hereon have been plotted from data supplied by ACOR Consultants on 12/12/2016. Fill areas and depth have been calculated from data supplied by ACOR Consultants on 12/12/2016 and survey by Landpartners Limited dated 25/10/2006.

Project:  
**ROSEHAVEN  
STAGE 6**

Client:  
**Residev QLD Pty Ltd**

**LANDPARTNERS**  
built environment consultants

Brisbane Office  
Level 1 - CDOP6  
18 Little Cribb Street  
Milton QLD 4064  
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ISO 9001  
Quality Management  
ISO 9001: FS 535063

OHSAS 18001  
Occupational Health & Safety Management  
OHS 613906

AS/NZS 4801  
Occupational Health & Safety Management  
OHS 608321

LEVEL DATUM	AHD		
LEVEL ORIGIN	PM20284 RL42.904		
COMPUTER FILE	61666AB2		
SCALE	1:300 @ A3		
DRAWN	MIS	DATE	2/02/2017
CHECKED	LFB	DATE	2/02/2017
APPROVED	SRS	DATE	2/02/2017
PLAN NUMBER	WC006166.06A-020 B		

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,  
Easements are shown as:   
Kerb lines are shown as:

**NOTE:**  
This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES AND MINES.

CLIENT

PROJECT

LOCAL AUTHORITY

NOTES

COMPUTER FILE

DRAWN

CHECKED

APPROVED

PLAN NUMBER

DATE

DATE

DATE

REV

SCALE BAR

SCALE 1:2000 @ A3

LANDPARTNERS

Western Corridor Office

Springfield QLD 4300

ISO 9001:2008

RESIDEV QLD PTY LTD

PROPOSED RECONFIGURATION OF LOT 2 & 3 ON RP119434 "ROSEHAVEN" (STAGES 1-8)

IPSWICH CITY COUNCIL

(i) This plan was prepared for the purpose and exclusive use of RESIDEV QLD PTY LTD to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.

LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
1	23	245m	—	2.0973ha
2	21	320m	7070m <sup>2</sup>	2.7438ha
3	26	275m	—	2.3218ha
4	15	—	800m <sup>2</sup>	1.3680ha
5	33	310m	—	2.4653ha
6	21	300m	3040m <sup>2</sup>	1.9768ha
7	27	310m	1155m <sup>2</sup>	2.0344ha
8	26	280m	1715m <sup>2</sup>	2.068ha
TOTAL	192	2059m	1.335ha	17.075ha

30m

0

50

100m

SCALE 1:2000 @ A3

LANDPARTNERS

built environment consultants

Western Corridor Office

Level 6, Springfield Tower

145 Sinnathamby Boulevard

Springfield Central QLD 4300

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ISO 9001:2008

FS 535063

616600G7

31/10/20016

31/10/20016

31/10/20016

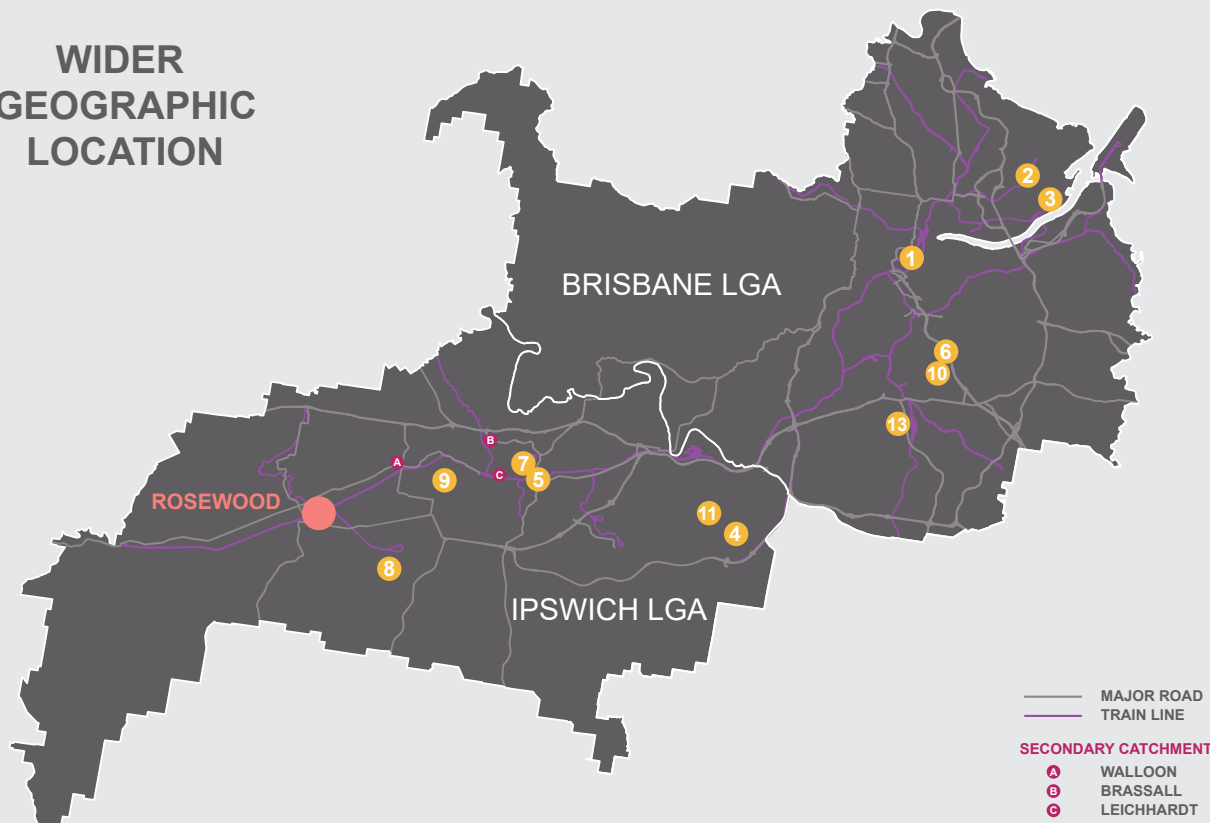
WC006166.000-013

A

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# LOCATION & INFRASTRUCTURE

## WIDER GEOGRAPHIC LOCATION



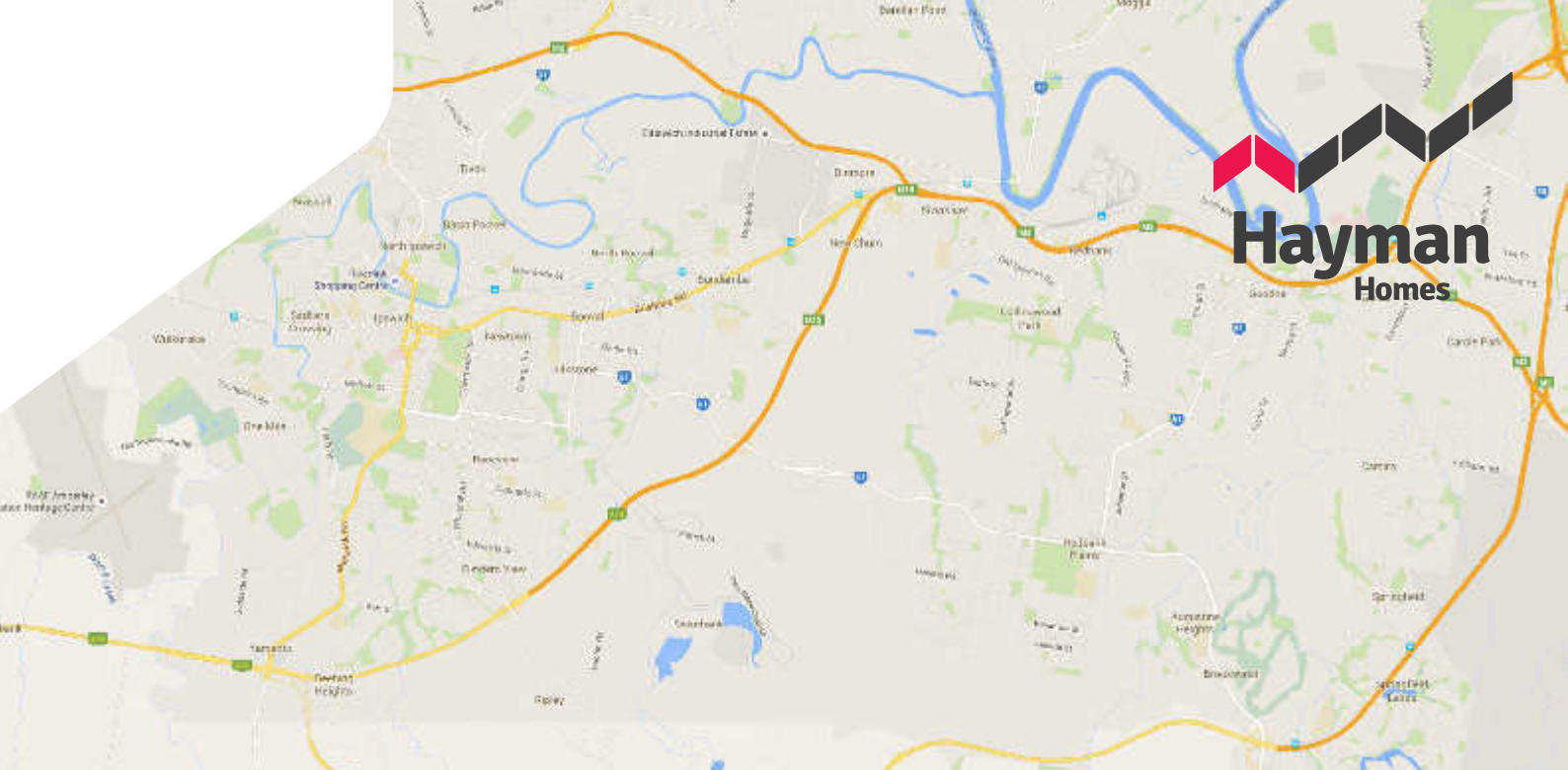
### PROXIMITY TO MAJOR EMPLOYMENT & ECONOMIC DRIVERS

1) Brisbane CBD:	46 km:	10,500 + Businesses.
2) Brisbane Airport:	55 km:	400 + Businesses & 21,000 + Jobs.
3) Port of Brisbane:	55 km:	\$50 B in Annual Trade.
4) Springfield Central:	32 km:	\$85 B Project, 52,000 Exp Jobs by 2030.
5) Ipswich CBD:	16 km:	\$7.9 B GRP & 7,900 + Businesses.
6) University of Southern QLD Springfield:	31 km:	Under and Post Graduate Education, 2,200 + Students.
7) Riverlink Shopping Centre:	15 km:	Over 150 Specialty Stores and Cinemas.
8) Ipswich Motorsport Precinct:	8 km:	Multi Faceted Motorsports and Raceway Precinct
9) Amberley RAAF Base:	9 km:	Largest Operational Airforce Base in Australia, 5,000+ Jobs.
10) Ipswich Hospital:	16 km:	Major Acute Hospital, 351 Bed Capacity.
11) Brookwater Golf Course & Resort:	30 km:	18 Hole Greg Norman Golf Course & Proposed \$750 M Resort
13) Archerfield & Acacia Ridge Industrial Precinct:	44 km:	2,100 + Businesses

## CENTRAL ROSEWOOD







Centrally located in the booming South East Queensland and with a fast growing population placing more demand on new housing, Ipswich presents an exceptional opportunity to property investors.

Only a short distance from Brisbane CBD and Gold Coast, Ipswich offers an alluring mix of expansive countryside spaces, charming urban neighbourhoods and quaint township living. As Queensland's oldest provincial city, the region offers a historic richness to its residents through architectural, natural and cultural heritage sites, easily accessed thanks to a bus and train service.

Local museums, restaurants, cafes, shopping centres and cinemas offer a mix of entertainment opportunities to suit a variety of tastes while regular local and national festivals and events draw tourism in to enjoy everything that Ipswich has to offer.

Ipswich provides easy access to nearby international and domestic airports and Brisbane sea port, is ideally positioned on the national road network and offers many educational, recreational and employment facilities to local residents.

While the region is already buzzing and experiencing rapid growth (particularly in suburbs between Springfield Lakes and Ripley Valley), the local council are focused on investing further in the local Ipswich community by rejuvenating the city centre and expanding the central business districts to enhance the employment opportunities offered in the region, making this a prime time and ideal region for property investment.

- University of Southern Queensland Ipswich Campus
- Choice of excellent private and state government schools
- Queensland South West TAFE Springfield Campus

- Train service operating between 7 suburbs
- Train links to Brisbane and Gold Coast
- Established bus network

- Ipswich City Centre
- Orion shopping centre
- Willowbank and QLD Raceway
- Parks and recreation
- Library

- Ipswich Hospital
- St Andrew's Ipswich Private Hospital

- Close proximity to major employment areas (including Brisbane)
- Major employment regions in Archerfield and Richmond industrial areas
- Amberley RAAF base

- Direct access to the Ipswich Motorway, Cunningham Highway, Warrego Highway and Centenary Highway
- Brisbane CBD 40 minutes
- Gold Coast 75 minutes



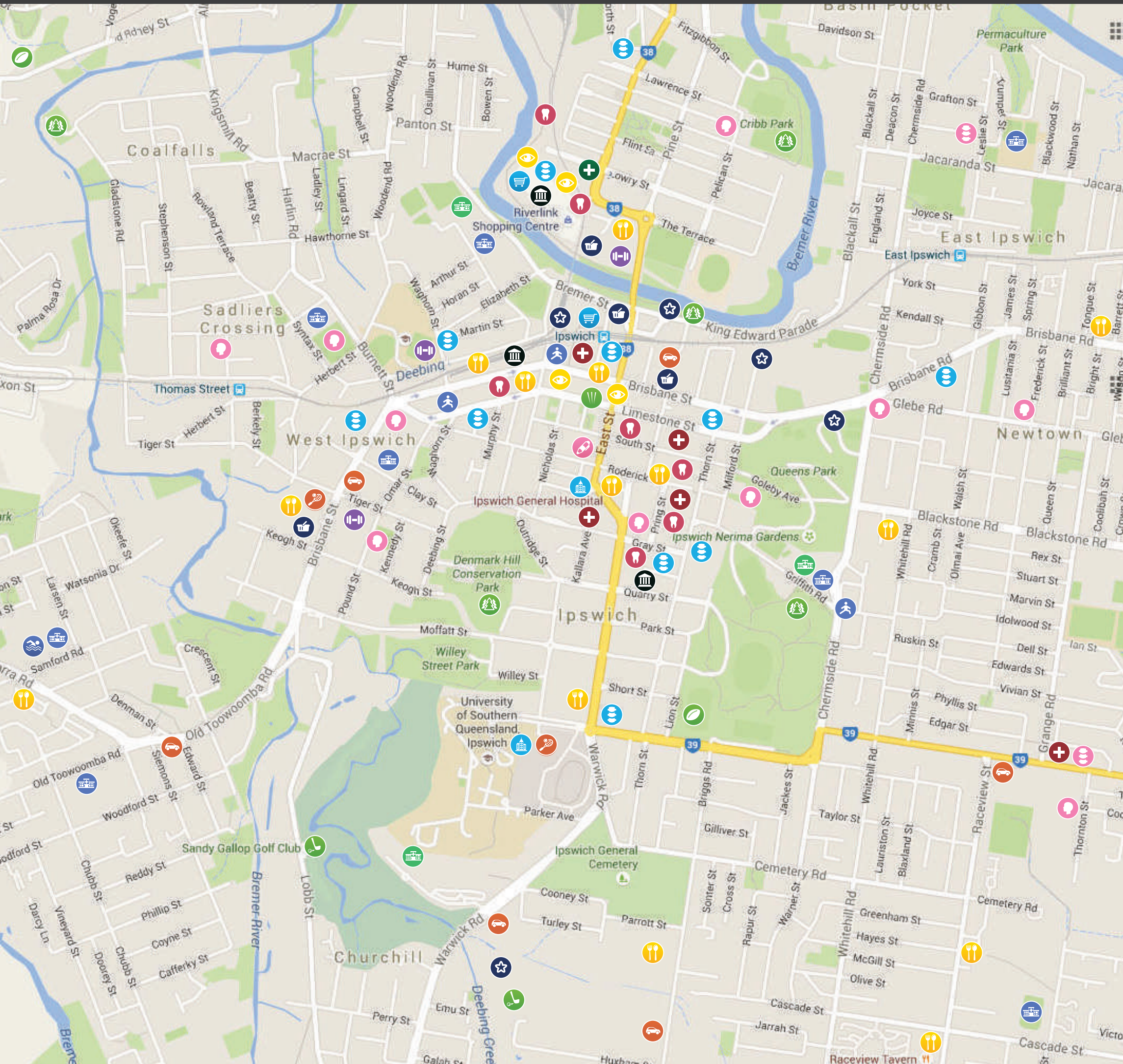


# Living in Ipswich



Ipswich residents are in close proximity to the Riverlink Shopping Centre which is home to a wide range of everyday amenities. With the side range of local restaurants, cafes and local parks to choose from, tenants will be spoiled for choice.

Home to the University of Southern Queensland, university students do not have to venture far. Parents have a variety of great local primary and high schools to send their children to, providing an added bonus.



- |  |                                      |                          |                               |                       |                              |
|--|--------------------------------------|--------------------------|-------------------------------|-----------------------|------------------------------|
| PUBLIC & PRIVATE HOSPITALS             | PHYSIOTHERAPIST & MASSAGE PARLOURS   | INDOOR SPORTS COMPLEXES  | UNIVERSITY & TAFE             | GROCERY STORE         | GARAGE & SERVICE STATIONS    |
| DAY & NIGHT PHARMACY & MEDICAL CENTRES | ACUPUNCTURIST & ALTERNATIVE MEDICINE | GOLF COURSE & CLUB HOUSE | PUBLIC & PRIVATE HIGH SCHOOLS | CAFES & RESTAURANTS   | HOLIDAY & LEISURE ACTIVITIES |
| DENTAL PRACTICES                       | YOGA STUDIOS                         | AQUATIC CENTRES          | PRIMARY SCHOOLS               | BANKS                 | TOURIST ATTRACTIONS          |
| OPTOMETRIST                            | GYM & PERSONAL TRAINING STUDIOS      | WATER SPORTS             | KINDERGARTEN & DAY CARE       | LIBRARIES             |                              |
| CHIROPRACTORS & SPINAL CARE            | SPORTING GROUNDS & OVALS             | AIRPORTS                 | SHOPPING CENTRES              | PARKS & PUBLIC SPACES |                              |



## **Rental Market Appraisal for HAYMAN HOMES**

**15/03/2017**

It gives us great pleasure to submit this Rental Market Appraisal for the nominated property.

**Type** Dual

**Bed** 3

**Bath** 2

**Car** SLUG

### **Our Approach to Marketing Your Investment**

Infinity Property Solutions promote and market your property at the earliest possible time. Once your property has reached the “lock-up” stage Infinity places a for lease sign in the front window.

It is in our experience that the majority of prospective tenants start sourcing a new home up to six weeks prior to vacating their current residence. By advertising your investment at such an early stage of the construction ensures a tenant is gained prior to the hand over of your property. This equals maximum returns for you the investor.

As we have homes at many various stages of construction the prospective tenant can view a completed package of a property but have the choice of a property that is under construction and is due for completion within a time frame that suits their needs.

Our “For Lease” signs acts as 24-hour advertising and unlike most real estate agents, Infinity works 24/7 for our clients. Inspections are conducted at any time and any day that suits the busy schedule of our prospective tenants.

Infinity’s ability to service the needs of both investors and tenants is enhanced by our mobility. Infinity does not believe in wall-to-wall “paper pushers” - your properties are in the field and that’s where 99% of our time is spent.

### **Potential Rental Income for SPECS provided for the market conditions on this dated appraisal**

**Weekly Rent Appraisal** 300

**Average CPI increase to weekly value** \$ 10

Tip: To achieve maximum rental income, don’t over-estimate a prospective tenant’s disposable income. Calculate affordability by ensuring 1/3 of their net weekly income meets the appraised value at a minimum.

**If you require any additional information over and above what is included in this Rental Market Appraisal or you have any questions, please feel free to contact us on the numbers below.**



## Rental Market Appraisal for HAYMAN HOMES

15/03/2017

It gives us great pleasure to submit this Rental Market Appraisal for the nominated property.

**Type** Dual

**Bed** 1

**Bath** 1

**Car** SLUG

### Our Approach to Marketing Your Investment

Infinity Property Solutions promote and market your property at the earliest possible time. Once your property has reached the “lock-up” stage Infinity places a for lease sign in the front window.

It is in our experience that the majority of prospective tenants start sourcing a new home up to six weeks prior to vacating their current residence. By advertising your investment at such an early stage of the construction ensures a tenant is gained prior to the hand over of your property. This equals maximum returns for you the investor.

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Infinity’s ability to service the needs of both investors and tenants is enhanced by our mobility. Infinity does not believe in wall-to-wall “paper pushers” - your properties are in the field and that’s where 99% of our time is spent.

### Potential Rental Income for SPECS provided for the market conditions on this dated appraisal

**Weekly Rent Appraisal** 220

**Average CPI increase to weekly value** \$ 10

Tip: To achieve maximum rental income, don’t over-estimate a prospective tenant’s disposable income. Calculate affordability by ensuring 1/3 of their net weekly income meets the appraised value at a minimum.

**If you require any additional information over and above what is included in this Rental Market Appraisal or you have any questions, please feel free to contact us on the numbers below.**

P O Box 4572, Forest Lake, Q. 4078

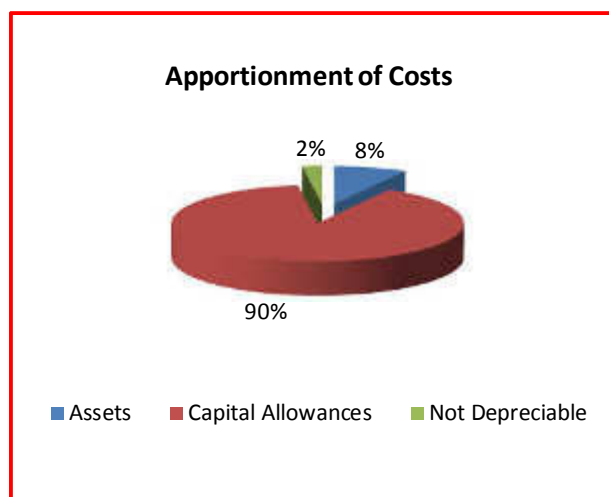
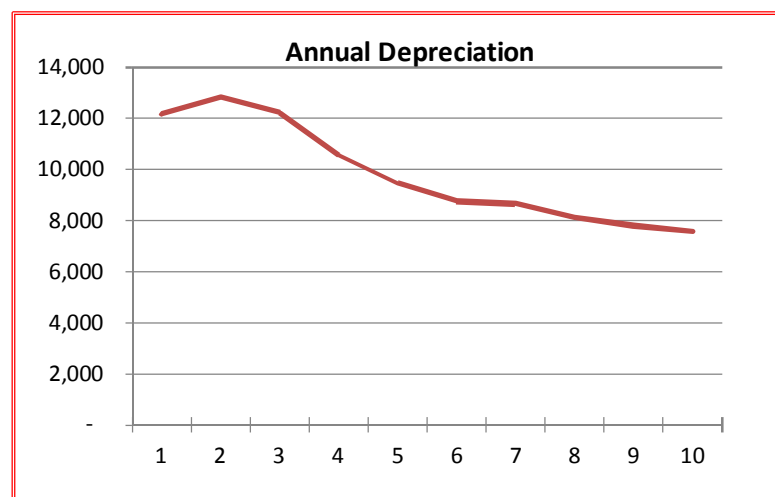
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Indicative Tax Depreciation and Capital Allowances Schedule for  
Hayman Homes Typical "Kingston Mk III" Dual Occupancy Design

Year	Depreciable Assets	Capital Allowances	Total Depreciation Allowance
	\$	\$	\$
1 (365 Days)	4,950	7,240	12,190
2	5,600	7,240	12,840
3	4,975	7,240	12,215
4	3,300	7,240	10,540
5	2,200	7,240	9,440
6	1,500	7,240	8,740
7	1,400	7,240	8,640
8	875	7,240	8,115
9	550	7,240	7,790
10	350	7,240	7,590
Balance Yrs 11-41	600	217,200	217,800
<b>TOTAL</b>	<b>\$ 26,300.00</b>	<b>\$ 289,600.00</b>	<b>\$ 315,900.00</b>



**Notes:**

This Schedule is based on a Construction Cost of **\$323,000** and the assumption that the first year will comprise 365 days\*.

**This Preliminary Tax Depreciation Schedule is intended to be an indicative representation of the allowances expected on the completion of the above property and is provided for the purposes of Sales and Marketing only. This Schedule has been prepared based on preliminary documentation provided to us and our own indicative calculations and as such is not suitable for the preparation of income tax returns to the Australian Taxation Office.**

This Schedule has been prepared in accordance with the current Australian tax provisions and is exclusive of any future amendments thereto beyond the date of this assessment.

Please contact **Redline Quantity Surveyors Pty Ltd on 1300 732 667** to arrange for the completion of a detailed Tax Depreciation Schedule suitable for your individual Income Tax requirements.

**\*Adjustment to first year figures based on period of ownership is required prior to cashflow forecasts.**