



Menangle Park

LIVE LIFE AT YOUR OWN PACE

# DESIGN GUIDELINES



DAHUA GROUP

# MENANGLE PARK GUIDELINES

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# 1. AN INTRODUCTION TO YOUR DESIGN GUIDELINES

## 1.1 Welcome to Menangle Park

Menangle Park is a new 'Parkland Town' positioned at the junction of Hume Highway and Menangle Road, less than 10 minutes southwest of Campbelltown CBD. This new community will be focused around health (live, work and play), nature and connectivity.

## 1.2 These Guidelines

These Design Guidelines form part of our commitment to creating a community that is a great place to live, both now and well into the future. The Guidelines apply to all dwellings to be built within Menangle Park and will form part of the contract you enter into when you purchase land.

The aim of these Guidelines is to:

- help to promote a high standard of amenity with regard to visual attractiveness, privacy, convenience and safety;
- help to develop and promote high quality design standards throughout the estate;
- guide the way your front boundary, front garden and house frontage is designed;
- ensure that your home is in harmony with the character and masterplan;
- help you design and build with sustainability in mind;
- promote the installation and use of resources and energy efficient practices and/or materials, and encourage environmentally sound design practice.

Whilst these Guidelines prescribe the physical elements of the dwellings they incorporate sufficient flexibility to allow for the design of individual homes to meet lifestyle needs, however in no way does compliance with these regulations exempt a structure from compliance with statutory authority requirements.





### 1.3 Your Home at Menangle Park

Dahua Australia, the developer of Menangle Park, is fully committed to creating community focused projects and housing products that reflect the unique culture and community of the region coupled with attractive and affordable options for residents.

We understand that your family home is one of the greatest personal investments that you will make in your life. These Design Guidelines have been designed to enhance and protect the value of your home at Menangle Park. It is important that you discuss these with your homebuilder or architect during the early stages of planning the design of your home.

These Design Guidelines detail the mandatory building controls that apply to homes within Menangle Park but are not in lieu of any requirements contained within the local Development Control Plan.

The aim of these Guidelines is to ensure attractive streetscapes are achieved throughout Menangle Park by encouraging homes that are complementary to their surroundings, whilst also allowing a wide range of personal choice.

### 1.4 Application of the Guidelines

Approval for siting and design of all homes will need to be first assessed by the Dahua Design Administrator for compliance with the Design Guidelines and then approved by Campbelltown City Council or an Independent Certifier for development and construction approval.

This process will ensure that home designs and siting on lots will provide surety to all purchasers on the overall outcome of this residential community and particularly siting and design of residences.

A Compliance Bond of \$3,000 will be retained by Dahua at settlement and a rebate may be claimed once your home and landscaping is completed in accordance with these guidelines.

Purchasers are required to complete the dwelling within 24 months from settlement with landscaping to be completed within 6 months of issuing the Certificate of Occupancy of your dwelling.



## 1.5 Approval Process

### STEP 1

Ensure your house design meets the Development Control Plan, Complying Development Code and Menangle Park Design Guidelines.



### STEP 2

Apply for Pre-lodgement Approval by submitting your “Pre-lodgement Application Form” to the Dahua Design Administrator at **designadministrator@menanglepark.com.au**. The Dahua Design Administrator will reply within 21 days of receiving your “Pre-Lodgement Application Form”. Council or an Independent Certifier issues your development approval and construction certificate, commence building your new home. (Refer from in section 3.1 and 3.2) Remember your new home must be completed within 24 months from date of settlement.



### STEP 3

Home completed in accordance with approvals and Occupation Certificate issued.



### STEP 4

Complete your front landscaping.  
Remember front landscaping must be completed within 6 months from house completion.



### STEP 5

To claim your \$3,000 Compliance Bond – complete the Compliance Bond Release Form (Section 3.3). Submit to Design Administrator upon completion of your home and landscaping.



## 2. DESIGN REQUIREMENTS

### 2.1 Front Façade

#### Objective

- To create contemporary and practical residential designs that enables the built form to contribute to the quality and visual amenity of the streetscapes, and local open spaces;
- to create an inviting appearance from the street by minimising perceived visual bulk;
- to create cohesive streetscapes that build on the traditional architectural element in a contemporary way.

#### Standard

- The inclusion of building features such as front entry porches, porticos, verandas, upper level balconies and other elements to articulate the building mass is recommended.
- At least one door and one habitable room window, fronting the street. In this respect, windows for rooms such as the WC, bathroom or laundry should not be the dominant feature or window on the front façade. Where such windows are necessary, they must be similarly proportioned to other windows on the façade.
- A minimum of 20% of the home's front façade is to include windows.
- The main home entry is to be visible from the street and provide a strong sense of entry.
- A minimum of two different types of building materials and colours are to be included in the front façade.
- Overhead shading structures are to be provided for protection of windows facing north and is highly encouraged for western elevations.

### 2.2 Roofs

#### Objective

- To provide a variety of roof forms and materials that complement the house design, the external building materials and contribute to the streetscape amenity.

#### Standard

- Provide a minimum 450mm eaves gutting to main external walls of house required for all pitched roofs, including garages and car ports.
- Roofs should be designed using a series of smaller roof forms and variations in roof pitch. Where roofs are pitched, there should be a minimum roof pitch of 20 degrees.
- Skillion roofs should range between 5 and 12 degrees.
- Roof colour should be of the following types:
 

- Monument	- Basalt
- Monier Barramundi	- Bristile
- Gully Bristile	- Gun Metal
- Woodland Grey	- Shale Grey
- Bristile Slate	- Monier Wild Rice





## 2.3 Corner Lots

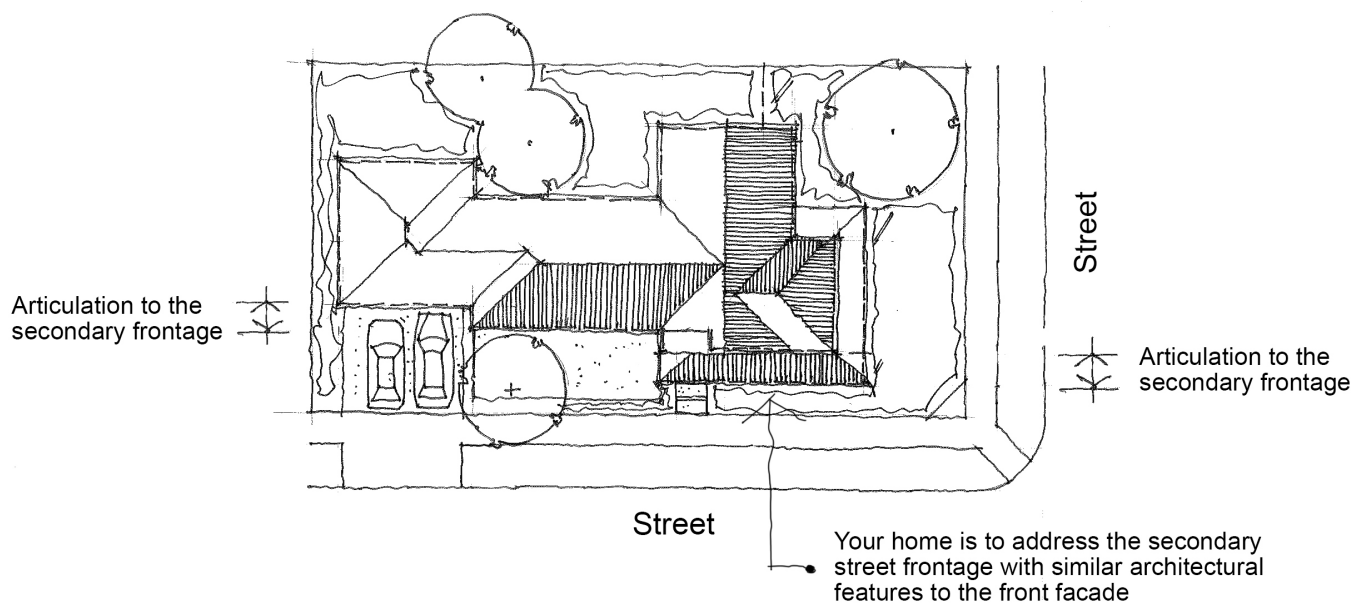
### Objective

- To ensure the home addresses both street frontages and to provide continuous built form, security and visual amenity to all sides.

### Standard

- The secondary street frontage must be addressed by using design features similar to the architectural detail of the front façade that are forward of any corner fencing.
- For corner allotments, on the secondary frontage, the maximum run of an unbroken wall length is 12m, a step of at least 480mm is to be incorporated in the wall for articulation.
- Blank walls will not be permitted and windows must be provided forward of any side corner fencing.

Diagram – Corner Lots





## 2.4 Garages and Crossovers

### Objective

- To ensure that garage doors contribute to the design quality of the front elevation of the residence or rear lanes and minimise visual impact to the streetscape.
- To reduce the impact of driveways by having a consistency of material within the streetscape and ensuring that there is landscape separation to minimise visual impact of hard paved surfaces.

### Standard

- Garages are to be set back a minimum 1m behind the main front wall of the house.
- It is preferred that for garages be constructed under the main roof of the house. If garages are free standing and/or visible from the street, they should match the roof form and be constructed of the same materials as the house.
- Conventional colorbond roll up doors are not permitted.
- Only panel lift or panel glide style roller doors will be permitted and the use of glass panel or louver inserts is encouraged.
- The maximum width for the driveway crossover is 4m for a double garage and 2.7m for a single garage.
- Driveways must abut and must not cut through any pedestrian footpaths within the street verge.
- Driveways are to be constructed of single-colour concrete or pavers in a grey or neutral tone.
- Driveways must be offset at least 300mm from your side boundary with a landscape garden bed provided.

## 2.5 Fencing

### Objective

- To provide cohesive fencing around your home and those of your neighbour to create an overall high quality visual amenity at Menangle Park.

### Standard

- Side and rear fencing are to be a maximum of 1.8m high and located not forward of the front building line.
- Side and rear fencing are to be of a timber lapped and capped type.





## 2.6 Landscaping

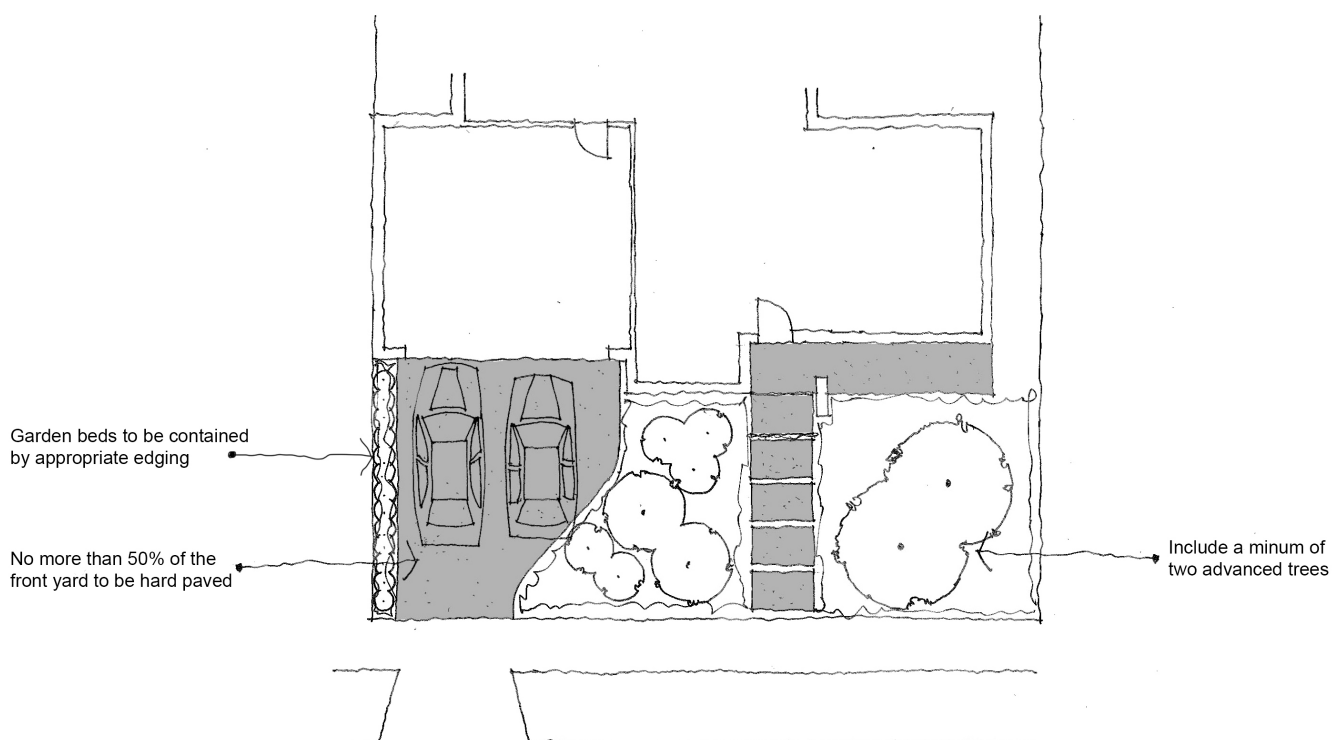
### Objective

- To ensure Menangle Park has a “parkland” feel by incorporating a seamless landscape between private gardens, green streets and parks;
- to contribute positively to the visual quality of the street;
- to encourage the use of distinctive, functional and sustainable landscape elements, materials and spaces that complement your home’s architectural style and surrounding landscape character.

### Standard

- At least 50% of your front yard must be landscaped with grass and garden beds (i.e. not paved or comprising concrete or hardstand areas).
- Front yards should include a minimum of two advanced trees.
- Corner lots must also provide a minimum of one advanced tree and substantial planting along the secondary boundary.
- Trees and shrubs should be of a suitable scale of maturity to compliment your home.
- All garden beds to be contained by appropriate edging and finished level with the adjacent lawn.
- The finish of any retaining walls within the front of the lot must complement the home by using similar materials.
- The letterbox is to be either a masonry, rendered or timber finish and is to compliment the style of your home.
- Rubbish bin storage and drying areas are to be concealed from street view.

Diagram – Landscaping





# 3. APPLICATION FORMS AND CHECKLIST

## 3.1 Design Guidelines Checklist

REQUIREMENTS	YES	NO	N/A
<b>DWELLING AND LANDSCAPING COMPLETION</b>			
Completion of dwelling within 24 months of settlement and landscaping (including fencing) completed within 6 months of issuing the Certificate of Occupancy of dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>1. FRONT FAÇADE</b>			
Building elements to articulate the building mass. (porches, verandas etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At least one habitable doors and window addressing street frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Minimum of 20% of the front façade including windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Main home entry visible from the street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Incorporate a minimum of two materials into the front elevation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Overhead shading structures for windows on north and western elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>2. ROOFS</b>			
A minimum of 450mm eaves to main external walls of house on pitched roofs, unless a better architectural outcome is achieved	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof articulation provides variations in pitch. Minimum of 20% roof pitch (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Skillion roofs is in the range of 4 to 12 degrees	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>3. CORNER LOTS</b>			
Do both facades address the front and side frontages with a complimentary style	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Secondary frontage does not have an unbroken wall length of more than 12m and has a step of at least 480mm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The dwelling does not have any blank walls and windows are forward of any side corner fencing.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4. GARAGES AND CROSSOVERS</b>			
Garages are setback a minimum 1m from the primary building frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Garage under main roof line. If freestanding should be consistent material with the main dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Panel lift or glide style roller door. Colorbond roller door not used	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The driveway crossover is a maximum width of 4m (double garage) and 2.7m (single garage). Driveway standard grey concrete single colour, if pavers then use of grey or neutral tone	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Driveway offset is a minimum 300mm from side boundary with associated landscaping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Rubbish bin storage and drying areas are to be concealed from view from the street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>5. FENCING</b>			
Side and rear fencing to a maximum of 1.8m and not to be located forward of the front building line	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Side and rear fencing is of a lapped and capped design	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>6. LANDSCAPING</b>			
50% of front yard comprising of soft landscaping, with a minimum of two advanced trees	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Corner lots landscaping and an additional advanced tree addressing secondary frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trees and shrubs of a suitable scale and maturity, with appropriate edging	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Any retaining walls to front lots compliment the home by using similar materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Letterbox is masonry, rendered or timber finish and complements the home by using similar materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Rubbish bin and drying areas are concealed from the street view.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



### 3.2 Pre-Lodgement Application Form

This form and attachments are to be filled, signed and returned by email to **designadministrator@menanglepark.com.au**.

<b>Owner/Applicant Name</b>	
<b>Street Address</b>	
<b>Lot and Deposited Plan Number</b>	
<b>Settlement Date</b>	
<b>Contact Details</b>	Mobile Email
<b>Builder Details</b>	
<b>Anticipated Building Dates</b>	Start: Finish: <small>Note: Completion of dwelling within 24 months of settlement and landscaping (including fencing) completed within 6 months of issuing the Certificate of Occupancy of dwelling.</small>
<b>Signed</b>	
<b>Date</b>	

#### REQUIRED PLEASE ATTACH

Design Guideline Checklist ☐

#### Required Plans

- Site Plan at 1:200 scale
- House Plan at 1:100 scale ☐
- Colours and Materials Schedule
- Landscape plan at 1:100 scale



### 3.3 Compliance Bond Release Form

This form and attachments are to be filled, signed and returned by email to **designadministrator@menanglepark.com.au**.

<b>Owner/Applicant Name</b>	
<b>Street Address</b>	
<b>Lot and Deposited Plan Number</b>	
<b>Settlement Date</b>	
<b>Certificate of Occupancy Issued</b>	
<b>Contact Details</b>	Mobile Email

We confirm completion of our dwelling and associated landscaping is in accordance with the Menangle Park Design Guidelines and hereby request consideration of our application and return of the Compliance Bond

<b>Signed</b>	
<b>Date</b>	

Upon receipt of this form and completion of an inspection, assuming compliance with these Guidelines the Compliance Bond will be returned by Electronic Funds Transfer within 50 days to the Bank details provided below

<b>Account Name</b>	
<b>Account Number</b>	
<b>BSB Number</b>	
<b>Bank Number</b>	

#### REQUIRED PLEASE ATTACH

Completion of dwelling within 24 months of settlement and landscaping (including fencing) completed within 6 months of issuing the Certificate of Occupancy of dwelling. Please attach Certificate of Occupancy	<input type="checkbox"/>
Design Guideline Checklist (if any changes from original design)	<input type="checkbox"/>
Required Plans (if any changes from original design) <ul style="list-style-type: none"> <li>• Site Plan at 1:200 scale</li> <li>• House Plan at 1:100 scale</li> <li>• Colours and Materials Schedule</li> <li>• Landscape plan at 1:100 scale</li> </ul>	<input type="checkbox"/>
• Stamped copy of the approved plans from the relevant approval authority	<input type="checkbox"/>