

## SUSTAINABILITY COMPLIANCE

This dwelling has the following inclusions:

1. Triple 'A' rated shower roses
2. Dual 6 litre / 3 litre flush cisterns
3. 500 kpa pressure limiting devices
4. Fluorescent or compact fluorescent lighting to 40% of dwelling floor area ( excluding verandahs, alfrescos and porches)

☒ - LOCATION OF SMOKE ALARM

SMOKE ALARMS TO COMPLY WITH  
B.C.A. CLASS 1&10 PART 3.7.2  
& WITH A.S.3786

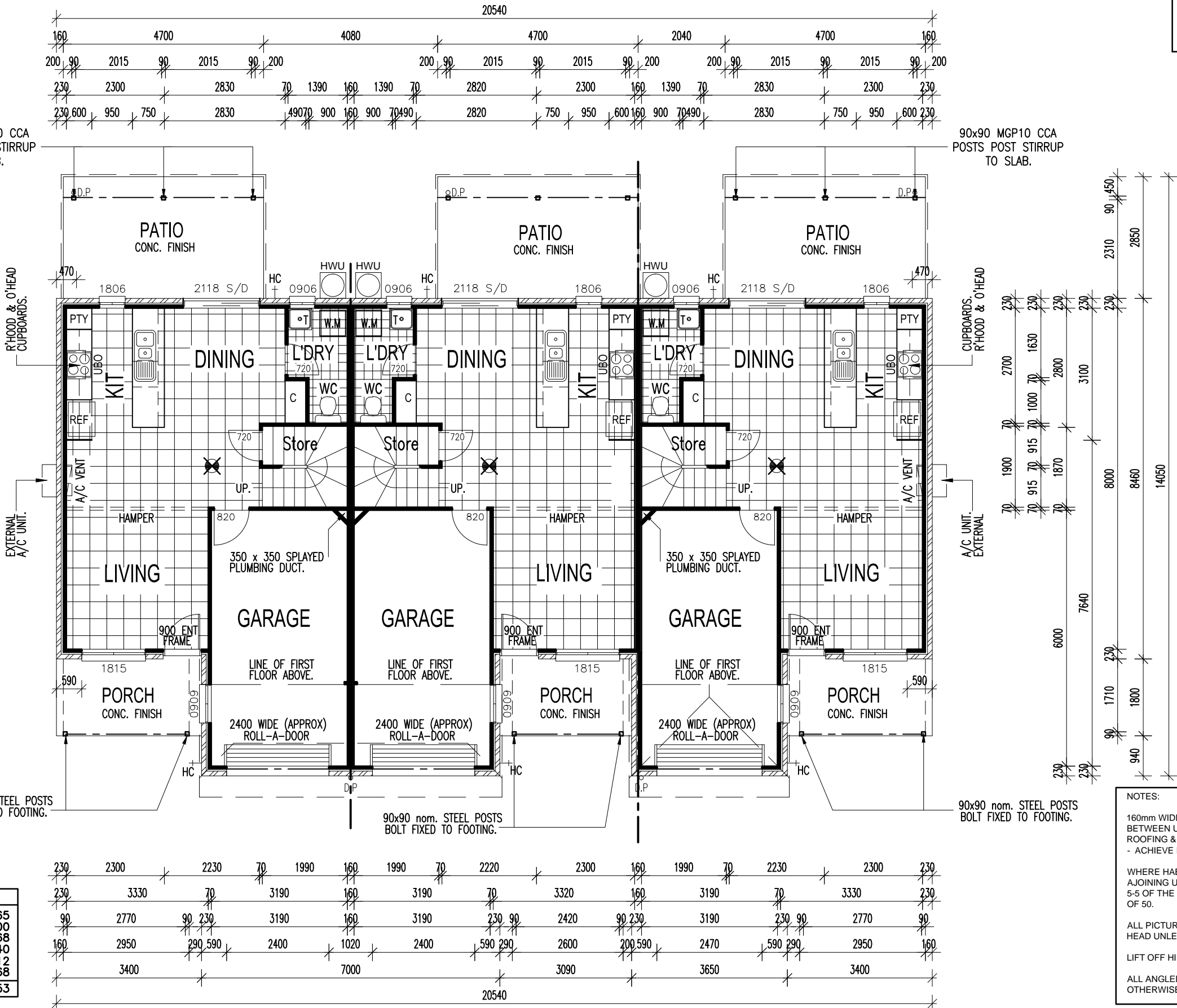


ELEVATIONS

PERIMETER LENGTH (Total)	
GROUND FLOOR:	68.96
FIRST FLOOR:	60.40
TOTAL:	129.36

AREA (per End Unit)	
GROUND FLOOR:	46.96
GARAGE:	21.00
PORCH:	5.31
PATIO:	13.40
FIRST FLOOR:	60.47
BALCONY:	5.31
TOTAL:	152.45

AREA (per Center Unit)	
GROUND FLOOR:	45.65
GARAGE:	21.00
PORCH:	4.68
PATIO:	13.40
FIRST FLOOR:	59.12
BALCONY:	4.68
TOTAL:	148.53



### NOTES:

160mm WIDE STAGGERED STUD DIVIDING WALL BETWEEN UNITS CONTINUOUS TO U/SIDE OF ROOFING & TO COMPLY WITH F 5-4 OF THE B.C.A - ACHIEVE F.R.L - 60,60,60 & S.T.C OF 45.

WHERE HABITABLE RMS ABUTT AMENITIES OF AJOINING UNIT THE WALL TO COMPLY WITH F 5-5 OF THE B.C.A TO ACHIEVE REQUIRED S.T.C OF 50.

ALL PICTURE NOOKS HAVE 900 SILL AND 2170 HEAD UNLESS NOTED OTHERWISE

LIFT OFF HINGES TO COMPLY WITH BCA 3.8.3.3

ALL ANGLED WALLS TO 45° UNLESS NOTED OTHERWISE



A.C.N. 011 008 101 REGISTERED BUILDERS 023226/G2H

32 TRADLINK ROAD  
BROWNS PLAINS QLD.  
TELEPHONE: (07) 3800 1666

P.O BOX 1536  
BROWNS PLAINS QLD 4118  
FAX: (07) 3800 1740

© ALL RIGHTS RESERVED

This plan is the property of  
PHILIP USHER CONSTRUCTIONS PTY LTD  
Any copying or altering of the drawing shall not be  
undertaken without written permission from  
PHILIP USHER CONSTRUCTIONS PTY LTD  
# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

### PROJECT:

PROPOSED TOWNHOUSE  
Design: T3 TRIPLEX  
80 Bruce Highway (cnr Creek Road)  
Burpengary

### Ground Floor Plan

DRAWN: PAMc	DATE: 26-07-16	Rev: A
SCALE: 1:100 @ A3	CHECKED: W.M.	
SHEET: BA-A3-47	JOB No: 885	

## SUSTAINABILITY COMPLIANCE

This dwelling has the following inclusions:

1. Triple 'A' rated shower roses
2. Dual 6 litre / 3 litre flush cisterns
3. 500 kpa pressure limiting devices
4. Fluorescent or compact fluorescent lighting to 40% of dwelling floor area (excluding verandahs, alfrescos and porches)

### NOTES:

160mm WIDE STAGGERED STUD DIVIDING WALL BETWEEN UNITS CONTINUOUS TO U/SIDE OF ROOFING & TO COMPLY WITH F 5-4 OF THE B.C.A - ACHIEVE F.R.L - 60,60,60 & S.T.C OF 45.

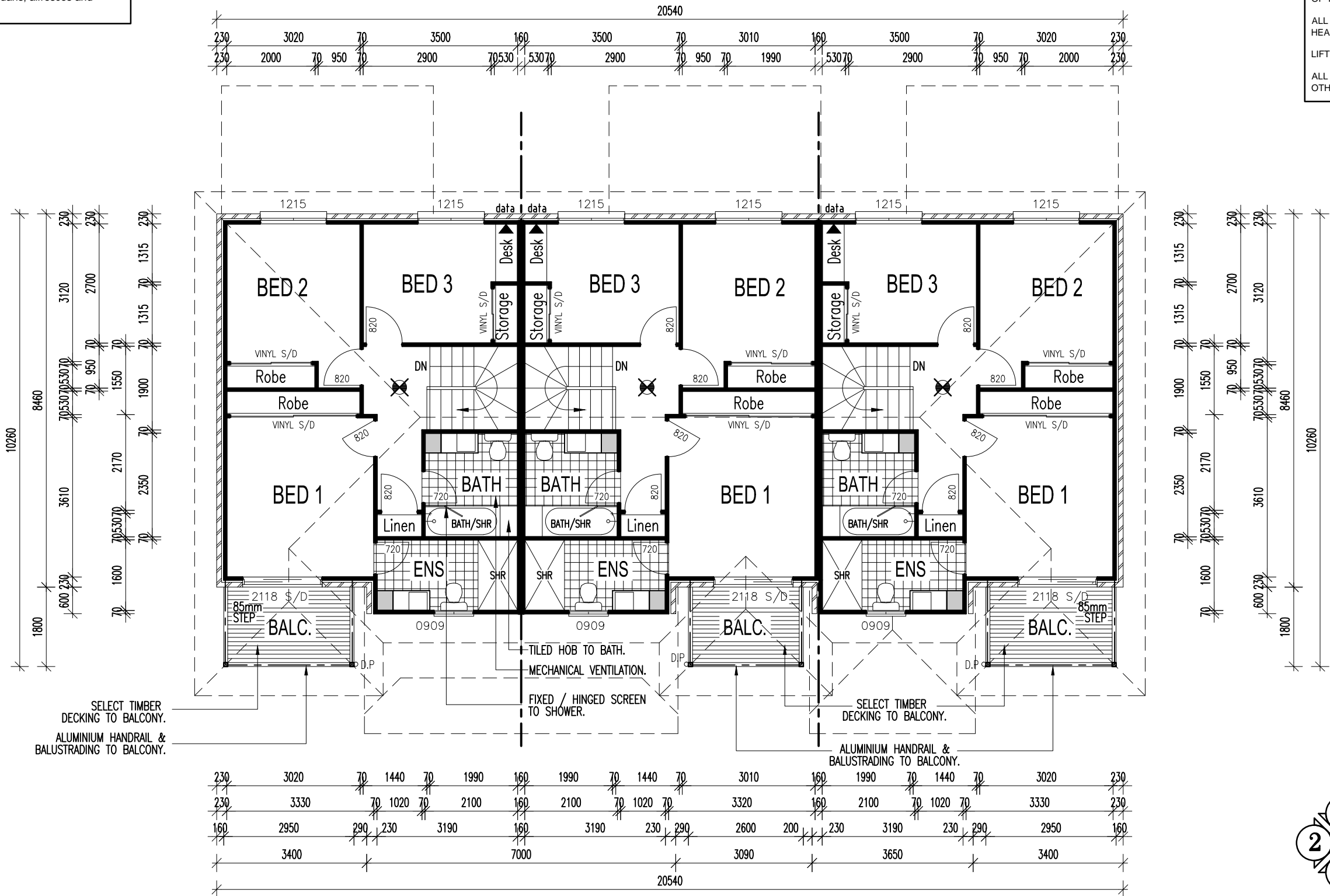
WHERE HABITABLE RMS ABUTT AMENITIES OF AJJOINING UNIT THE WALL TO COMPLY WITH F 5-5 OF THE B.C.A TO ACHIEVE REQUIRED S.T.C OF 50.

ALL PICTURE NOOKS HAVE 900 SILL AND 2170 HEAD UNLESS NOTED OTHERWISE

LIFT OFF HINGES TO COMPLY WITH BCA 3.8.3.3

ALL ANGLED WALLS TO 45° UNLESS NOTED OTHERWISE

⊗ - LOCATION OF SMOKE ALARM  
SMOKE ALARMS TO COMPLY WITH  
B.C.A. CLASS 1&10 PART 3.7.2  
& WITH A.S.3786



ELEVATIONS



A.C.N. 011 008 101 REGISTERED BUILDERS 023226/G2H

32 TRADELINK ROAD  
BROWNS PLAINS QLD.  
TELEPHONE: (07) 3800 1666

P.O BOX 1536  
BROWNS PLAINS QLD 4118  
FAX: (07) 3800 1740

© ALL RIGHTS RESERVED

This plan is the property of  
PHILIP USHER CONSTRUCTIONS PTY LTD  
Any copying or altering of the drawing shall not be  
undertaken without written permission from  
PHILIP USHER CONSTRUCTIONS PTY LTD  
# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

### PROJECT:

PROPOSED TOWNHOUSE  
Design: T3 TRIPLEX  
80 Bruce Highway (cnr Creek Road)  
Burpengary

### First Floor Plan

DRAWN: PAMc	DATE: 26-07-16	Rev: A
SCALE: 1:100 @ A3	CHECKED: W.M.	
SHEET: BA-A3-48	JOB No: 885	