



LAURENT - VIRTUS

** All illustrations & floor plans are artistic impressions & should only be used as a visual aid.*

 4
  2
  2
  6



LOT 27
 SIZE 463.00m²
 PRICE \$ 250,000



DESIGN LAURENT - VIRTUS
 SIZE 251.31m²
 PRICE \$ 379,990



\$629,990

***Package price is subject to availability & subject to change without notice. Furniture shown is for illustrative purpose only & is not included in the purchase price.*

Lot 27 (99)
 Brookwater Drive
BROOKWATER





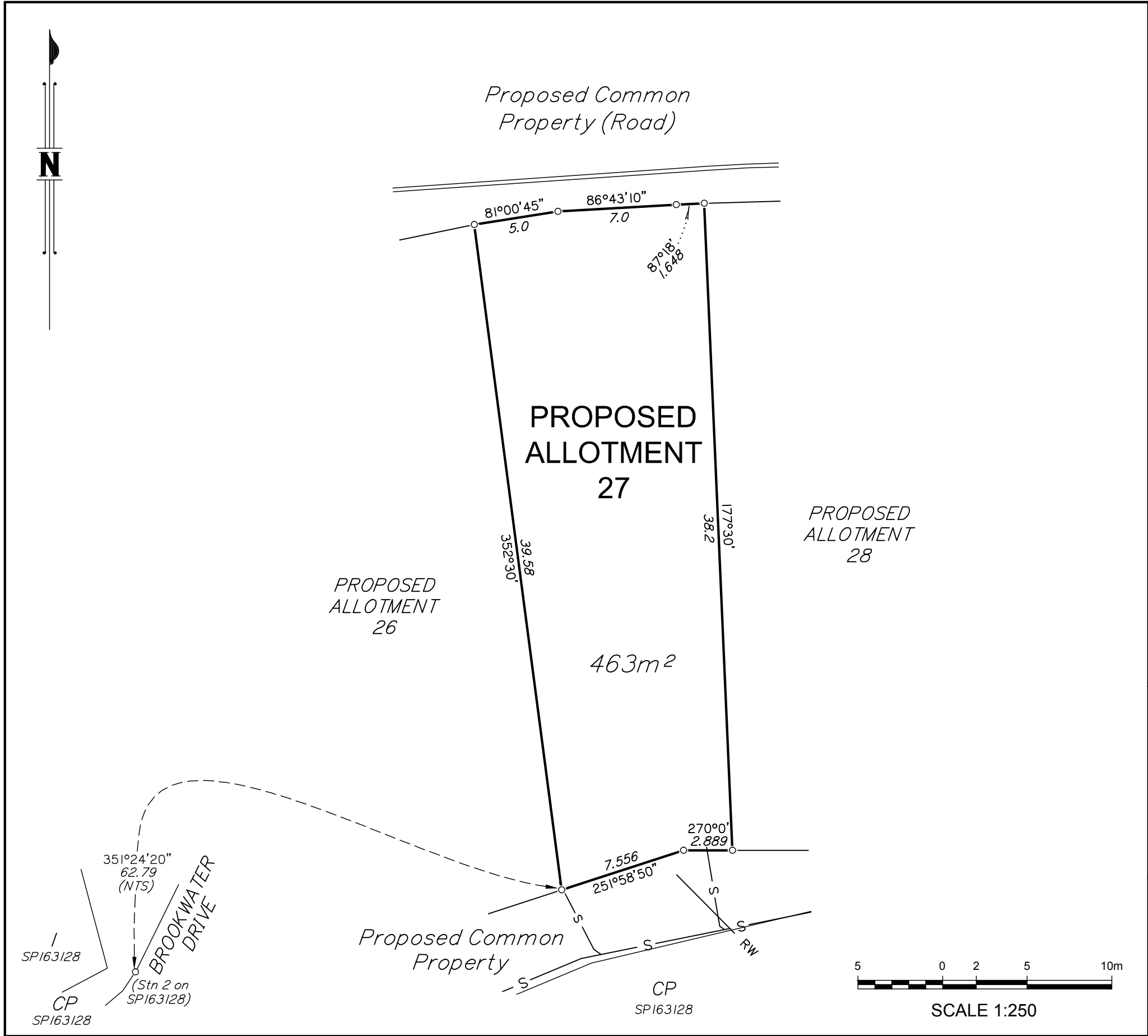
STANDARD INCLUSIONS

ITEMS INCLUDED IN THE CONTRACT PRICE

- Contract: Full Turnkey
- Roof: Colorbond Trimdek
- Ceiling height: 2.74m
- Kitchen bench tops: 20mm Engineered stone kitchen bench tops
- Security Package: Force Field security screens to facade. Full alarm system
- Outdoor Living Area: Under Roof
- Lighting/fan package: White downlights, ceiling fans, & 3 in 1 exhaust fans
- Kitchen Appliances: Stainless Steel
- Dishwasher: Included to match appliances
- Hotwater: Gas continuous flow
- Hotplate: Stainless steel 60cm Gas cooktop
- Internal doors: Flush Panel
- Wardrobes: Aluminium framed mirrored sliding wardrobe doors
- Tapware: Gareth Ashton Park Ave tapware throughout
- External Concrete: Coloured Concrete QLD (Covercrete alfresco)
- Window Cov: Roller Blinds on all windows Excl. Wet Areas
- Floor Coverings: Tile & Carpet Flooring
- Letterbox
- Internal Door Handles: Lockwood Velocity Element lever internal door handles
- Architrave & Skirting: Splayed profile
- Landscaping: Full Package
- Air conditioning: Fully Ducted

WARRANTIES

- Full Internal and External Commercial quality clean on completion
- 6 years structural guarantee
- 12 months guarantee on materials and workmanship
- Appliances covered by manufacturers warranty



Information shown on this plan is in addition to minimum Disclosure Plan requirements:

- Sewerage Pipe shown as: — S — ● Proposed Sewer M/H
- Roofwater Drainage pipe shown as: — RW — ■ Proposed Roofwater Pit
- Where applicable, Easements are shown as: □ □

NOTE:
This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.
The dimensions and locations of the Easements may vary and are subject to final Council approval.
Maintenance and stabilisation of all batters remain the responsibility of the purchaser.

DISCLOSURE PLAN FOR PROPOSED ALLOTMENT 27

This plan shows:

Details of Proposed Allotment 27 on the approved Reconfiguration Plan
BRIK2170.0M5-004 Issue F

An Area Development Plan application, being application number 2894/2012, to reconfigure Part of Lot 51 on SPI63128 at Brookwater was approved on 1st November 2012 by Ipswich City Council, subject to conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed allotments. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Lend Lease recommends using As Constructed information for design purposes.

Vendor _____ Purchaser _____

Witness _____ Witness _____

Engineering details shown hereon were supplied by JFP Urban Consultants on 30th July 2014.



BROOKWATER
The Premier Golf Community

Project:
**THE GRANGE
STAGE 2A**

Client:
**EVOKE PROPERTY
GROUP PTY LTD**

DATUM	AHD		
LEVEL ORIGIN	PSM138053 RL67.6		
COMPUTER FILE	2170M5J5		
SCALE	1:250		
DRAWN	MPSH	DATE	14/08/2014
CHECKED	DPM	DATE	14/08/2014
APPROVED	GCC	DATE	14/08/2014

PLAN NUMBER
BRIK2170.0M5-085 B



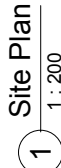
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Level 6, Springfield Tower
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Springfield Central QLD 4300
PO Box 4647
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w www.landpartners.com.au



All floor levels and other site specific details are design details only and are subject to change due to construction tolerances and site variables.

IMPORTANT NOTE:
Ipswich Council requires footpaths to be cut out for driveway.



	SITE ADDRESS Lot 27 (89) Brookwater Drive. BROOKWATER, QLD. 4300 SP	DRAWING DETAILS PROPERTY DESCRIPTION Job Number: 128065 Date: 07/07/2016	CONSTRUCTION DETAILS Ceiling GF: 2500 Ceiling FF: 2740 Wind Rating: 47msec Roof Pitch: 3.00° Roof Material: Colorbond Eave Overhang: 300	DESIGN: Laurent (Modified)	02 SITE			1 : 200	CLIENT SIGN: _____ DATE: ____/____/____ SIGN: _____
					# DATE DESCRIPTION	AMENDMENTS	This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd. © Copyright 2014, Impact Homes Pty Ltd		

Unless dimensioned all windows are to be centred to the room in which they are located. IF a window is NOT centred OR dimensioned - ASK the job.

External
150mm quad gutter
High ceilings – see construction details noted below on plans
90mm PVC classic bend pipes
Laurent – 1200mm Pivot Door INF6G
Colsonbond Trimdeck

Corinthian flush panel internal doors 2040H
 Aluminized architrave and skirting
 Aluminium framed mirrored sliding robe doors
 4 drawer unit and top shelf in robes
 Lockwood velocity element internal lever handle
 20mm Engineered stone desk tops (where applicable)
 Carpet Grade internal stairs with handrail and plasterboard
 balustrading (where applicable)
 Garth Ashton Park Ave tap ware throughout
 Security Alarm

Gas Cooktop
Metaline splashback
4 cullery draws, 6 pot draws - all soft close
Square set plaster bulkhead above cabinetry
Water tap in kitchen

Aluminum hinged door 2100h - Glass (where applicable)
20mm engineered stone benchtop with laminate cupboards and
in sub

2m high semi-framed shower screens with one way pivot door
Glass shelf in lieu of soap holder
Upgrade Towel rail and toilet roll holder

Plain trowel concrete to garage

Landscaping
20mm gravel down service side of house and turf to remainder
Coloured concrete driveway

$$\frac{1}{1:100}$$


SP

SITE ADDRESS	CLIENT
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Lot 27 (99) Brookwater Drive .
BROOKWATER QLD 4300

DRAWING DETAILS	Job Number: Issue: Date:
PROPERTY DESCRIPTION	Parish: County: Map Ref: Local Authority: Wind Rating: Area of Land: Site coverage:

Ipswich City Council	479m2	128065
33%	Prelim Drawings	
	07/07/2016	

CONSTRUCTION DET.	Ceiling GF	2590
	Ceiling FF	2740
	Ceiling SF	
	Roof Pitch	3.00°
	Roof Material	Color bond
	Eave O'hang	300

03a FIRST FLOOR

1 : 100

SIGN

DATE _____

whole

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copyright

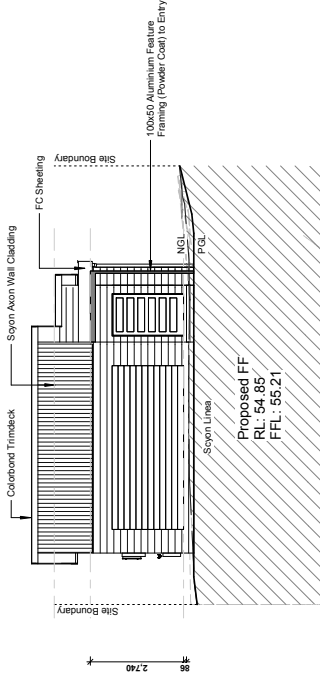
11

1

Elevation A

1 : 100

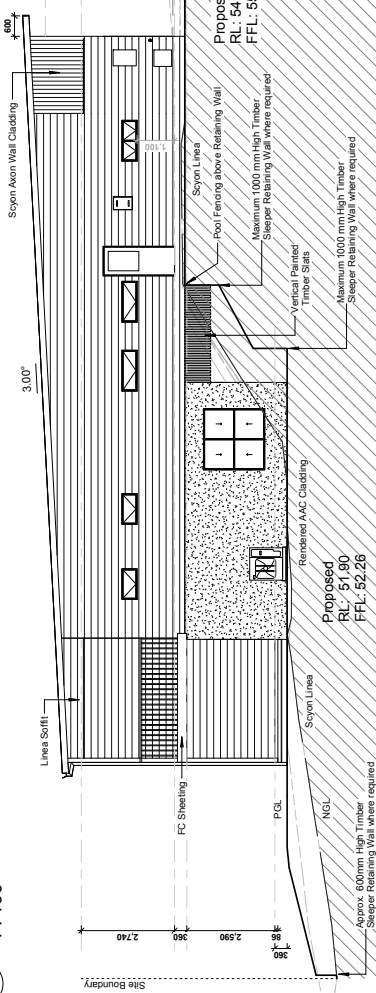
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Elevation B

1 : 100

2



SITE ADDRESS CLIENT

Lot 27 (99) Brookwater Drive .
BROOKWATER . QLD . 4300

DRAWING PROPERTY

Perth: Map Ref: 1:50,000
County: Ipswich City Council
Wind Rating: 47 km/h
Area of Land: 429m²
Job Number: 128065
Issue: Prelim Drawings
Date: 07/07/2010

DESIGN: Laurent (Modified)
CONSTRUCTION DET: Ceiling SF 2740
Ceiling SF 2740
Roof SF 3,077
Roof Material: Colorbond
Eave Offset: 300

AMENDMENTS

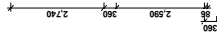
#	DATE	DESCRIPTION

04 ELEVATION 1

1 : 100

SIGN: _____
DATE: ____/____/____
CLIENT SIGN: _____
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1
1 : 100



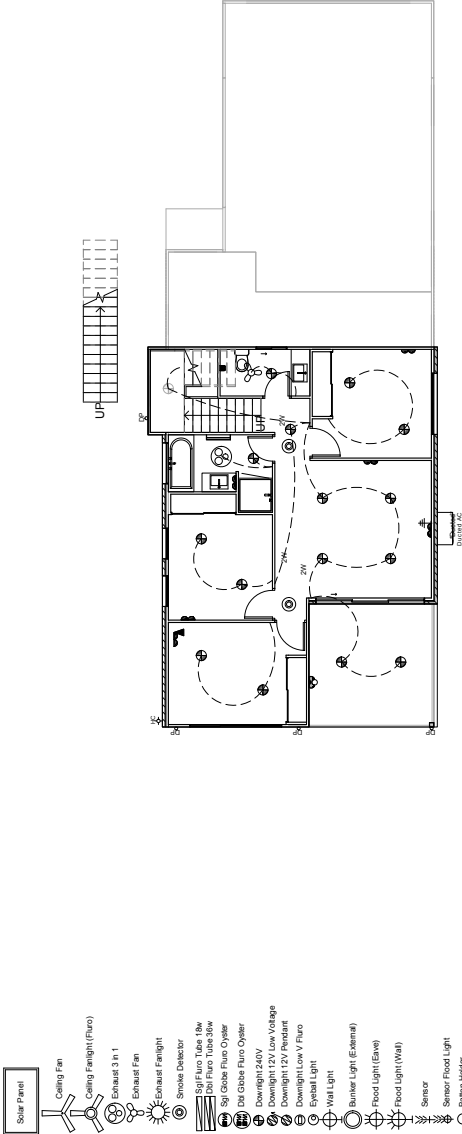
$$\frac{2}{1 \cdot 100} \text{ Eleva}$$



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Elect Meter Box
Gas Meter Box
Fuse Box (Int)
Gas HWS
Solar HWS
AC Condenser
AC Head Unit
Gas Cylinder

IMPORTANT
This block utilises Optical Fiber cabling. Please see the job supervisor to ensure the correct method of installation is implemented.



Electrical Fixture Schedule			
	Count	Family	Type
	42	Light Downlight	240V
	1	Light Fluoro	Dbt Globe 400D
	18	GPO	Double
	2	Fan	Exhaust 3 in 1
	2	Fan	Exhaust 3 in 1
	1	Isolation Switch	Isolation Switch
	2	Service Point	Phone
	3	GPO	Single
	1	GPO	Single Roof
	3	Service Point	Smoke Detector
	3	Service Point	TV
	1	Light Point	Wall
	2	GPO	Waterproof Double
	1	GPO	Waterproof Single
	49		

GF Electrical Plan

1 : 100

[illegible]

Elect Meter Box
Gas Meter Box
Fuse Box (Int)
Gas HWS
Solar HWS
AC Condenser
AC Head Unit
Gas Cylinder

This block utilises Optical Fiber cabling. Please see the job supervisor to ensure the correct method of installation is implemented



1

constants

 **IMPACT** HOMES

CLIENT ADDRESS: 124 (799) Brookwater Drive -
BROOKWATER QLD 4300

SITE ADDRESS: SP

DRAWING DETAILS: 12/8065
Job Number: 07/072016
Date: 07/07/2016

PROPERTY DESCRIPTION: 12/8065
Job Number: 07/072016
Date: 07/07/2016

Parish: 12/8065
County: 07/072016
Local Authority: 07/072016

CONSTRUCTION DETAILS: Ceiling GF: 2500
Ceiling G1: 2740
Ceiling SF: 2740
Wire Rating: 47 Amp
Surface Area: 33%
Roof Material: Colorbond
Eave Overhang: 300

DESIGN/LAURENT (Modified): Ceiling GF: 2500
Ceiling G1: 2740
Ceiling SF: 2740
Wire Rating: 47 Amp
Surface Area: 33%
Roof Material: Colorbond
Eave Overhang: 300

AMENDMENTS: # DATE DESCRIPTION

08a FF ELECTRICAL 1 : 100

CLIENT SIGN: _____ DATE: _____

DESIGNER SIGN: _____

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Electrical points positions
subject to construction
constraints