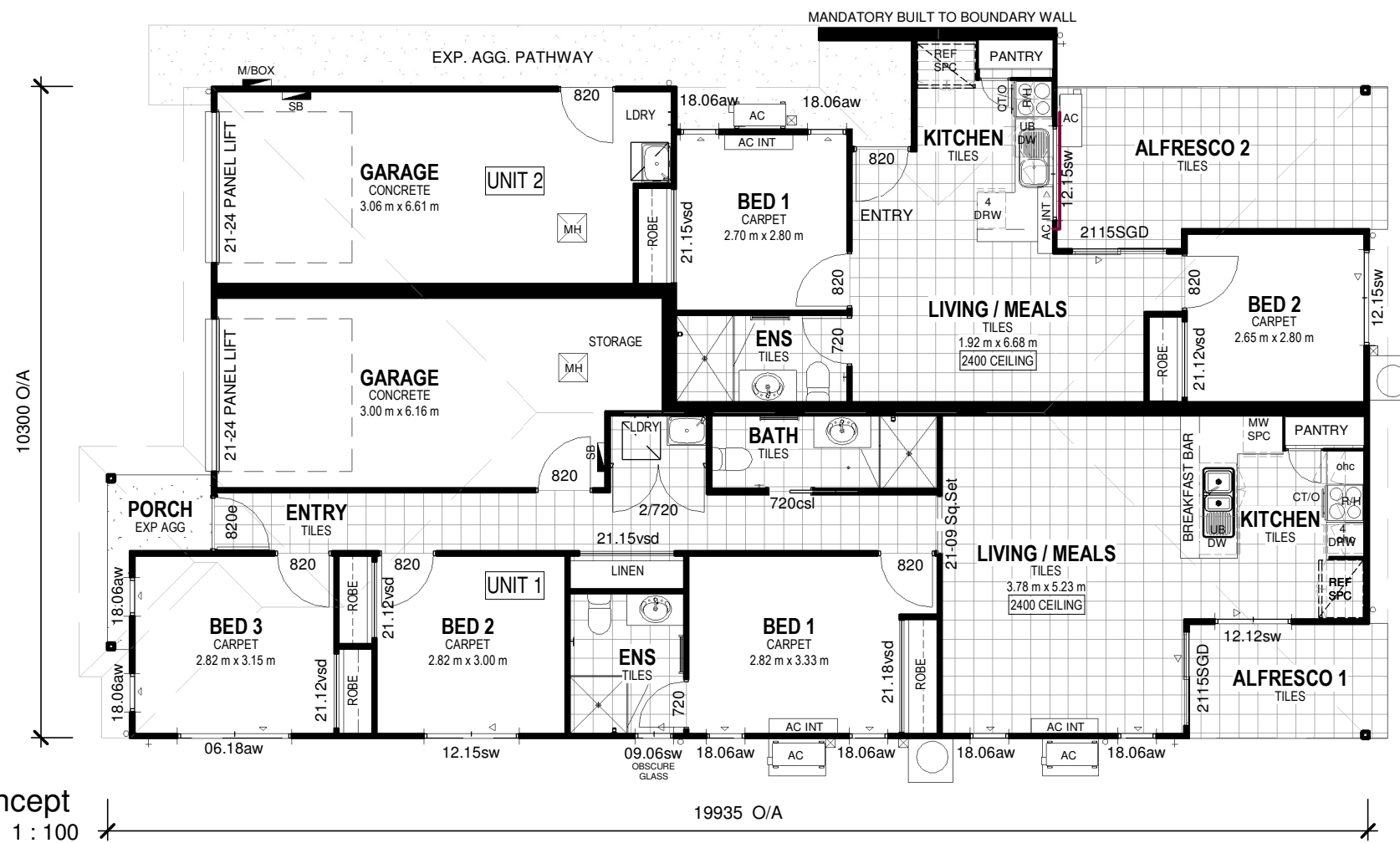


RP DESCRIPTION
 Lot 31 on SP 301475
 Site Area: 480.00 m²
 Local Authority: MBRC




ARTIST IMPRESSION - ONLY MATERIALS AND COLOURS WILL VARY



LIVING	86.91 m ²
GARAGE	21.28 m ²
ALFRESCO	5.89 m ²
PORCH	2.52 m ²
UNIT 1 TOTAL	116.60 m²
LIVING	45.00 m ²
ALFRESCO	12.46 m ²
GARAGE	22.24 m ²
PORCH	2.62 m ²
UNIT 2 TOTAL	82.31 m²
TOTAL	198.91 m²

SITE INFORMATION
 NOTE: CONCEPT DESIGN PREPARED PRIOR TO ACCURATE SITING INFORMATION BEING PROVIDED
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			Rev.	Date	Description	Iss.											
-	10/10/19	CONCEPT DESIGN	DM														
<p>Proposed Residence for: New Client At : Lot 31 CRONIN STREET, MORAYFIELD HEIGHTS (STAGE 4) MORAYFIELD</p>				<p>Design Name: DUAL OCC</p>	<p>Drawn: DM</p>	<p>Sheet No. 0</p>											

REAL PROPERTY DESCRIPTION:

Lot 31 on SP 301475
 Site Area: 480.00 m²
 Local Authority: MBRC

RP DESCRIPTION

Lot 31 on SP 301475
 Site Area: 480.00 m²
 Local Authority: MBRC

DRAINAGE:
 Soil & Sullage Drainage to Council Sewer in accordance with Water Supply & Sewerage Act & Amendments
 Stormwater Drainage to be in accordance with A.S.3500 & Local Authority requirements

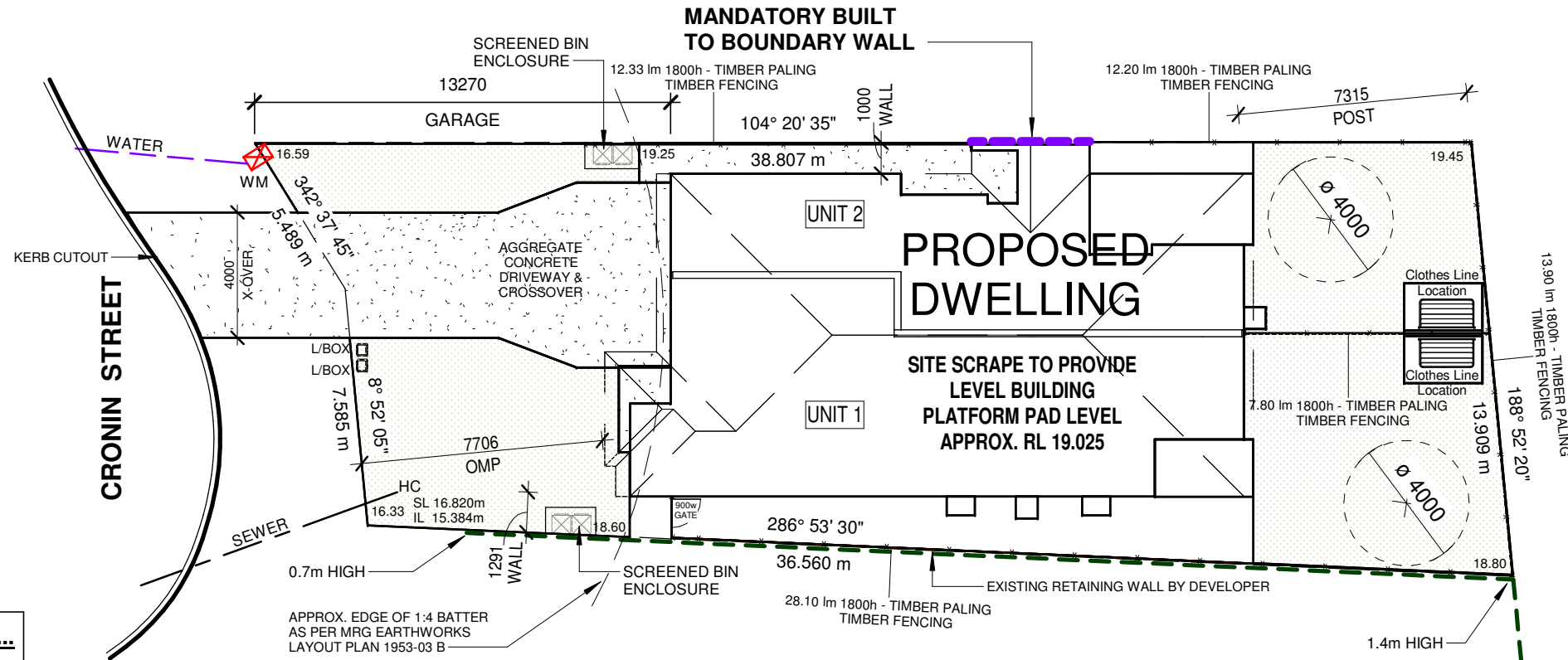
NOTES:
 All Drainage to comply with B.C.A. Part 3.1.2 Drainage.
 Fall finished ground @1:20 for min 1000mm around perimeter of Foundations.
 Alternative methods of surface water control to be approved by private Certifier prior to installation.
 All Earthworks to be in accordance with B.C.A. Part 3.1.1 OR Engineers Specification.

SITE WORKS:

- ALL CONTOURS AND LEVELS SHOWN SHOULD BE CONFIRMED BY A LICENSED SURVEYOR.
- ALL SURVEY PEGS ARE TO BE LOCATED BEFORE THE COMMENCEMENT OF ANY EARTH WORKS.
- THE SITE IS TO BE PREPARED IN ACCORDANCE WITH THE ENGINEER' REPORT IF APPLICABLE.
- FOUNDATIONS ARE TO BE PREPARED SO THAT FOOTINGS ARE PLACED ON LEVEL, UNDISTURBED MATERIAL.
- THE SITE IS TO BE EXCAVATED AND/OR FILL TO THE LEVELS SHOWN.
- CONSTRUCTION AREA IS TO BE CLEARED OF ALL VEGETATION, TOPSOIL AND UPPER STRATA CONTAINING ORGANIC MATTER.
- GROUND SURFACE IS TO BE SLOPED AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm, AND TO A POINT WHERE PONDING WILL NOT OCCUR.
- DISH DRAINS, STORMWATER LINES OR AGG PIPES ARE TO BE PROVIDED AS REQUIRED OR INDICATED TO FACILITATE DRAINAGE OF WATER AWAY FROM THE BUILDING.
- ROOFWATER IS TO RUN OFF TO A STREET CHANNEL OR STORMWATER WITH PIPES AS SHOWN ON HYDRAULICS PLAN WITH A MINIMUM FALL OF 1:100 AWAY FROM THE BUILDING.
- ALL DOWN PIPES ARE TO BE CONNECTED TO STORMWATER LINES.
- TEMPORARY DOWN PIPES ARE TO BE PROVIDED AT DOWN PIPE LOCATIONS DURING CONSTRUCTION, TO ALLOW ROOF WATER TO DRAIN ONTO THE GROUND A MINIMUM OF 2m AWAY FROM THE BUILDING.
- ALL DOWNPIPE LOCATIONS, UNDERGROUND SERVICES AND STORMWATER LINE, ETC ARE TO BE LOCATED PRIOR TO CONSTRUCTION.
- ANY SLAB WHICH IS CONSTRUCTED ON EITHER CUT OR FILL, TAPER BATTERS WILL HAVE A MAXIMUM SLOPE OF 1:1 FOR CUT, AND 1:2 FOR FILL.
- ALL VEHICULAR ACCESS AND DRIVEWAY ARE TO HAVE A MAXIMUM SLOPE OF 1:4.
- ANY FENCES OR RETAINING WALLS ARE TO HAVE A MAXIMUM HEIGHT OF 1800mm WHEN PLACED ON A BOUNDARY UNLESS APPROVED OTHERWISE.
- SANITARY DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY AND THE HYDRAULIC DRAWINGS OR PLANS PROVIDED BY THEM.
- PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHALL BE CONTACTED BY THE BUILDER FOR THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.
- ALL WORKS ARE TO COMPLY WITH THE LOCAL AUTHORITY'S EROSION AND SEDIMENT CONTROL STANDARDS.
- EXTERNAL GROUND LEVELS ADJACENT TO THE BUILDING SHALL BE IN ACCORDANCE WITH BCA PART 3.3.2.3.

GENERAL NOTES
 (APPLICABLE TO ALL DRAWINGS)

- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, RELEVANT LOCAL AUTHORITY CODES & THE BCA.
- TERMITE TREATMENT TO COMPLY WITH AUSTRALIAN STANDARD 3660.1, BCA & RELEVANT LOCAL AUTHORITY CODES.
- HANDRAILS AND BALUSTRADE TO COMPLY WITH THE BCA AND RELEVANT AUSTRALIAN STANDARDS.
- WHERE ITEMS REQUIRED FOR GOOD BUILDING PRACTICE, BUT NOT INCLUDED WITH SPECIFICATIONS OR DRAWINGS AND NOT REFERENCED IN EITHER, CONTRACTOR TO INCLUDE.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PHYSICALLY LOCATE THE EXTENT OF THE EXISTING SERVICES AND ONSITE FEATURES BOTH ABOVE AND BELOW THE GROUND AND NOTIFY THE PROPRIETOR OF ANY CLASH PRIOR TO CONSTRUCTION.
- ALL FLOOR AREAS SHOWN ARE INDICATIVE ONLY AND MAYBE SUBJECT TO CHANGE DUE TO CONSTRUCTION TOLERANCES.
- THESE DOCUMENTS HAVE BEEN PREPARED FOR THE BUILDING APPROVAL ONLY. CONTRACTOR TO CHECK DRAWINGS AND NOTIFY THE AUTHOR OF ANY DISCREPANCIES.
- CONTRACTOR TO PREPARE ADDITIONAL CONSTRUCTION DRAWINGS AND CONSTRUCTION DETAILS AS IS DEEMED NECESSARY.
- ALL WINDOWS TO HAVE CLEAR GLAZING UNLESS OTHERWISE SPECIFIED. LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288-2006.
- WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES WHERE REQUIRED AS PER BCA PART 3.8.3.3.
- WATERPROOFING TO WET AREAS TO COMPLY WITH AS3740.



AREA SCHEDULE - Site...

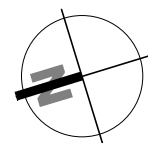
Gross Building Area	175.423 m ²
Exterior Area	23.489 m ²

AREA SCHEDULE

PORCH	2.52 m ²
ALFRESCO	5.89 m ²
GARAGE	21.28 m ²
LIVING	86.91 m ²
UNIT 1 TOTAL	116.60 m ²
PORCH	2.62 m ²
ALFRESCO	12.46 m ²
GARAGE	22.24 m ²
LIVING	45.00 m ²
UNIT 2 TOTAL	82.31 m ²
TOTAL FLOOR AREA	198.91 m ²

SITE COVER

SITE AREA :	480.00 m ²	ACTUAL	REQUIRED
HABITABLE AREA :	175.42 m ²	36.55 %	50 %
OPEN ELEMENTS:	23.49 m ²	4.89 %	10 %
TOTAL SITE COVERAGE :	198.91 m ²	41.44 %	



1 SITE PLAN
 1 : 200

SITE INFORMATION
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 ABN: 94482383824
 QBCC Lic: 1033413

SUNVISTA HOMES
 HOMES FOR THE FUTURE

APEX

ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION
 SUBJECT TO COVENANT & LOCAL GOVT. APPROVAL. ALL SETBACKS TBC ON SITE

DESIGN CONCEPT

Rev.	Date	Description	Iss.
-	10/10/19	CONCEPT DESIGN	DM

Drawing Title:
Site Plan

Proposed Residence for: New Client
 At : Lot 31 CRONIN STREET, MORAYFIELD HEIGHTS (STAGE 4) MORAYFIELD

Facade Type: 1
 Colour Selection:
 Landscape Selection:

Date:
10.10.2019

Drawing No.
19601




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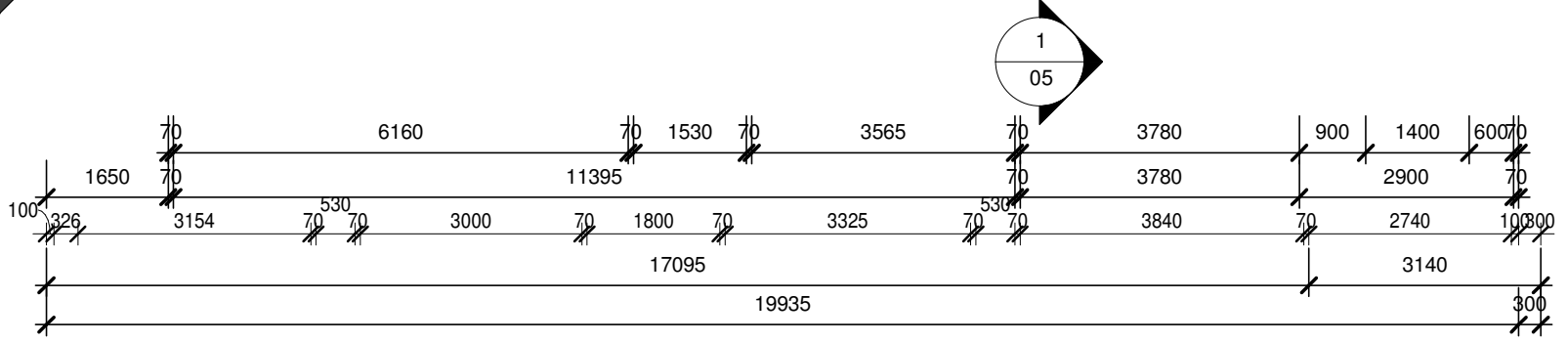
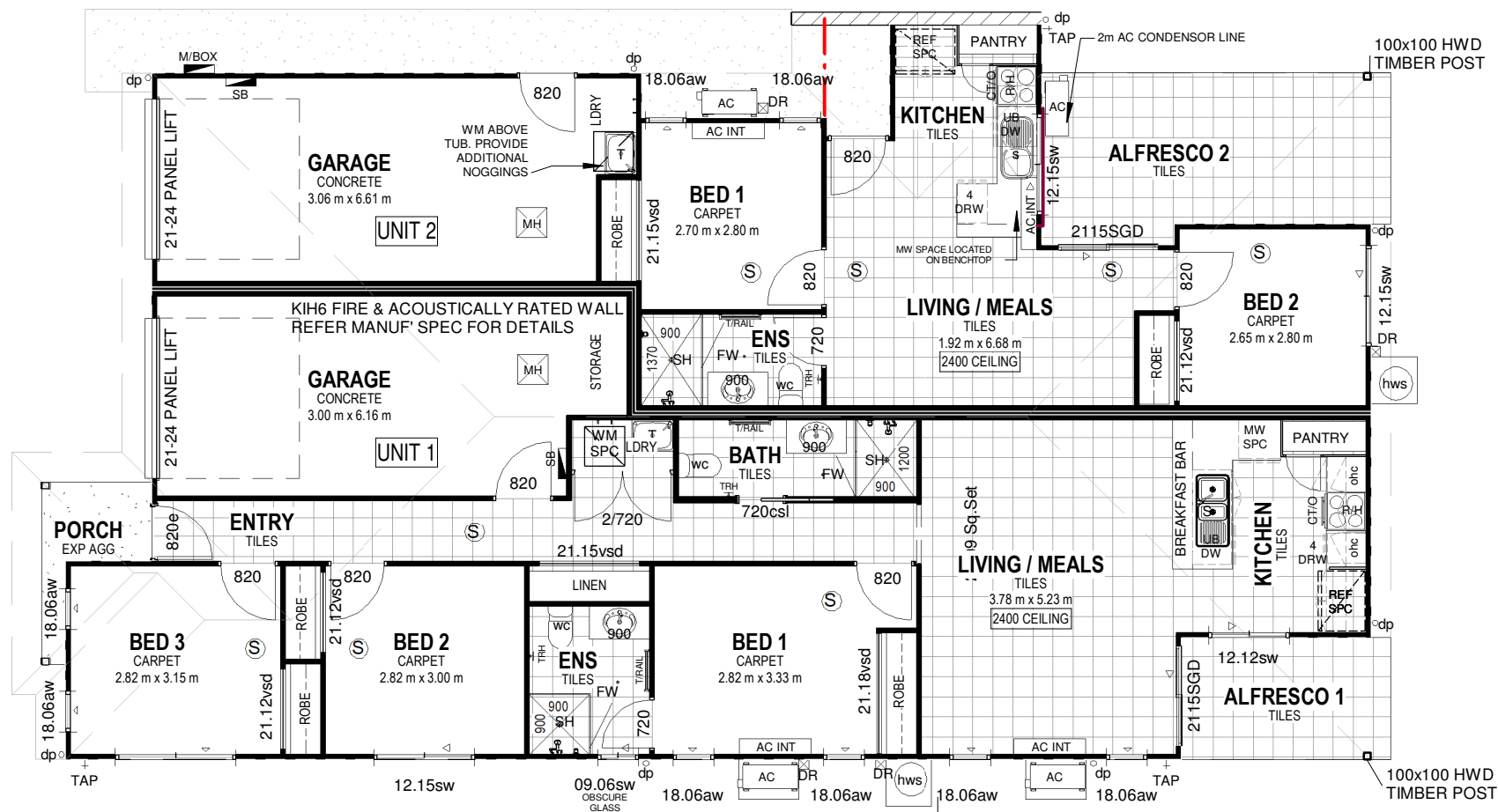
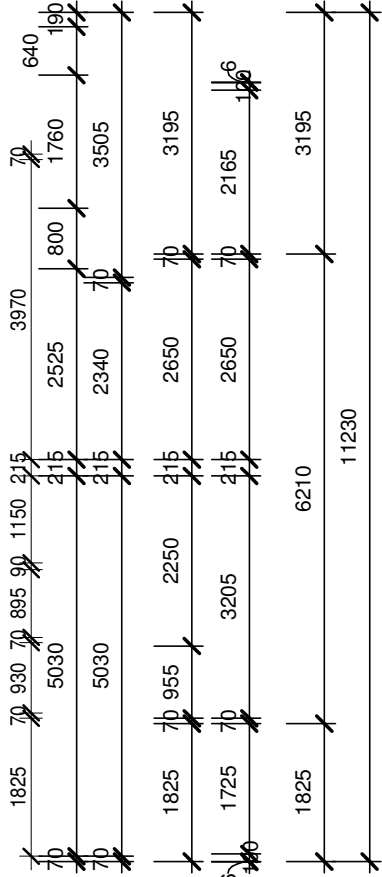
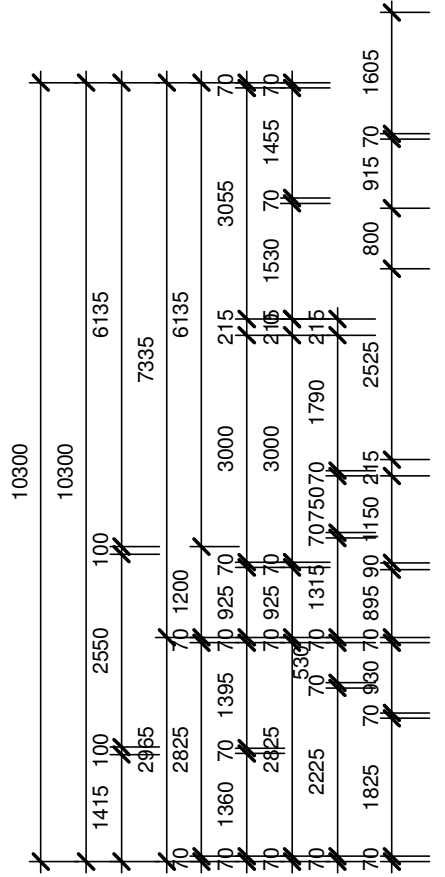
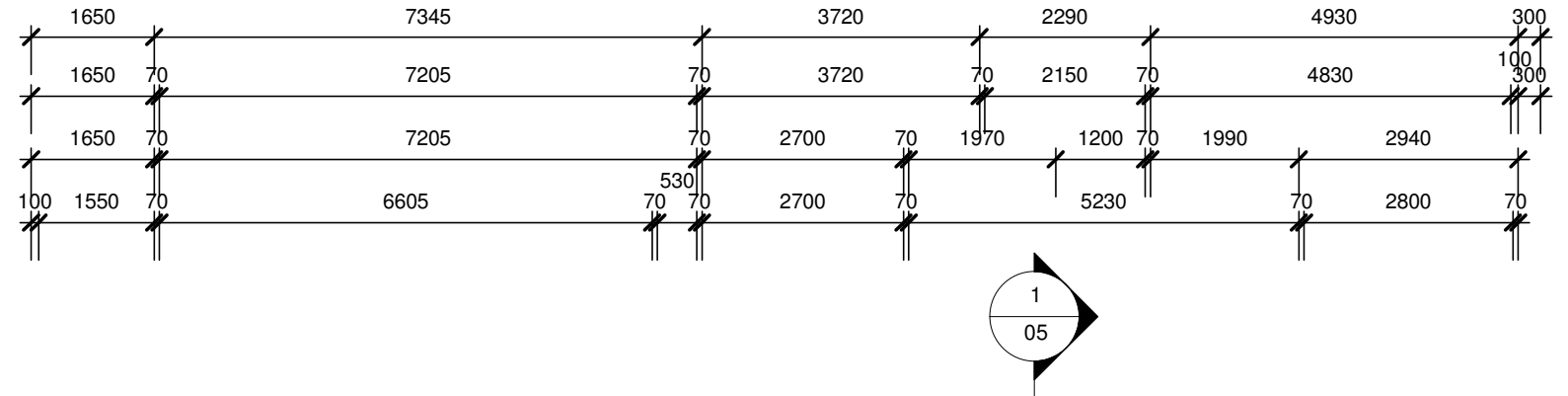
Drawn:
DM

Sheet No.
01

LEGEND			
A/C	AIR CONDITIONER	OV	OVEN
B	BATHTUB	PTY	PANTRY
BR	BROOM CUPBOARD	RH	RANGE HOOD
CT	COOK TOP	RO	ROBE HOOK
DP	DOWN PIPE	S	SINK
DR	OVERFLOW DRAIN	S/A	SMOKE ALARM
DRW	DRAWERS	SH	SHOWER
DW	DISHWASHER	T	LAUNDRY TUB
FRG	FRIDGE	TR	TOWEL RAIL
HWS	HOT WATER SYSTEM	TRH	TOILET ROLL HOLDER
MH	MANHOLE	VB	VANITY BASIN
MW	MICROWAVE	WC	TOILET BASIN
OHC	OVERHEAD CUPBOARD	WM	WASHING MACHINE

RP DESCRIPTION
 Lot 31 on SP 301475
 Site Area: 480.00 m²
 Local Authority: MBRC

-  TILES
-  EXP AGG
-  WET AREA TILES



DOWNPIPE SCHEDULE

Level	QUANTITY
LF FFL	8
Total :	8

AREA SCHEDULE

PORCH	2.52 m ²
ALFRESCO	5.89 m ²
GARAGE	21.28 m ²
LIVING	86.91 m ²
UNIT 1 TOTAL	116.60 m²
PORCH	2.62 m ²
ALFRESCO	12.46 m ²
GARAGE	22.24 m ²
LIVING	45.00 m ²
UNIT 2 TOTAL	82.31 m²
TOTAL FLOOR AREA	198.91 m²

FLOOR FINISHES

Floor Finish	Area
CARPET	45.71 m ²
CONCRETE	41.14 m ²
EXP AGG	0.00 m ²
EXPOSED AGREGATE	0.00 m ²
TILES	84.87 m ²
WET AREA TILES	0.00 m ²

1 Lower Floor
 1 : 100

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ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION
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DESIGN CONCEPT

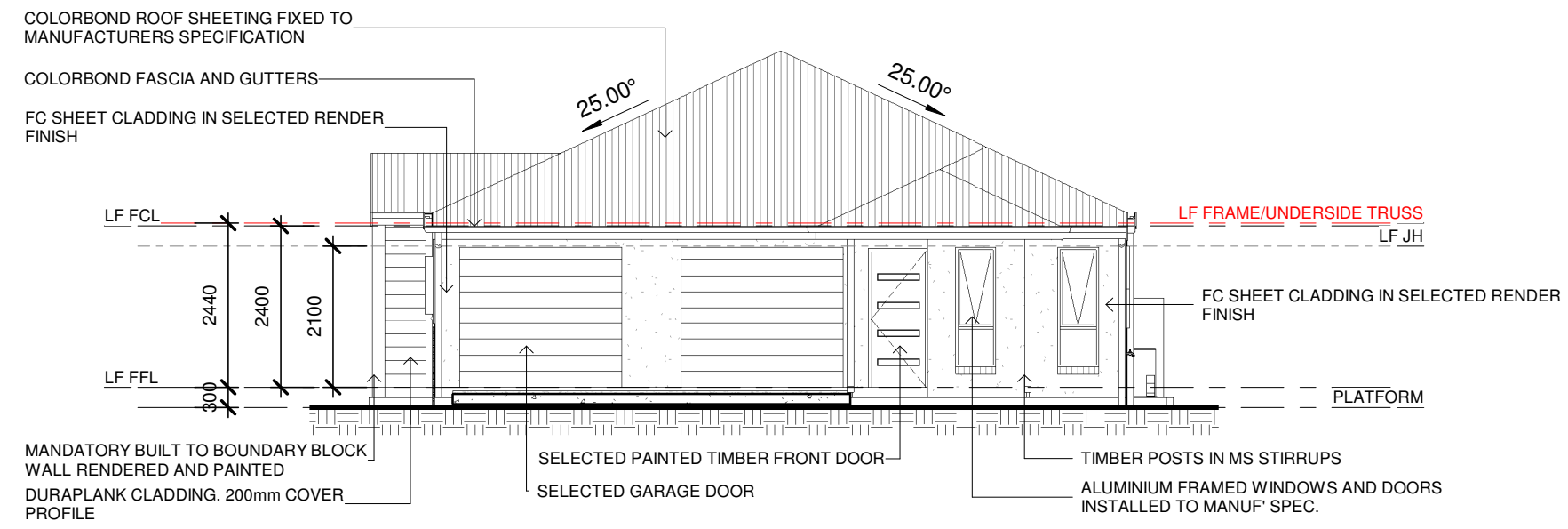
Rev.	Date	Description	Iss.
-	10/10/19	CONCEPT DESIGN	DM

Drawing Title:
Ground Floor
 Proposed Residence for: New Client
 At : Lot 31 CRONIN STREET, MORAYFIELD HEIGHTS (STAGE 4) MORAYFIELD
 Facade Type: 1
 Colour Selection:
 Landscape Selection:

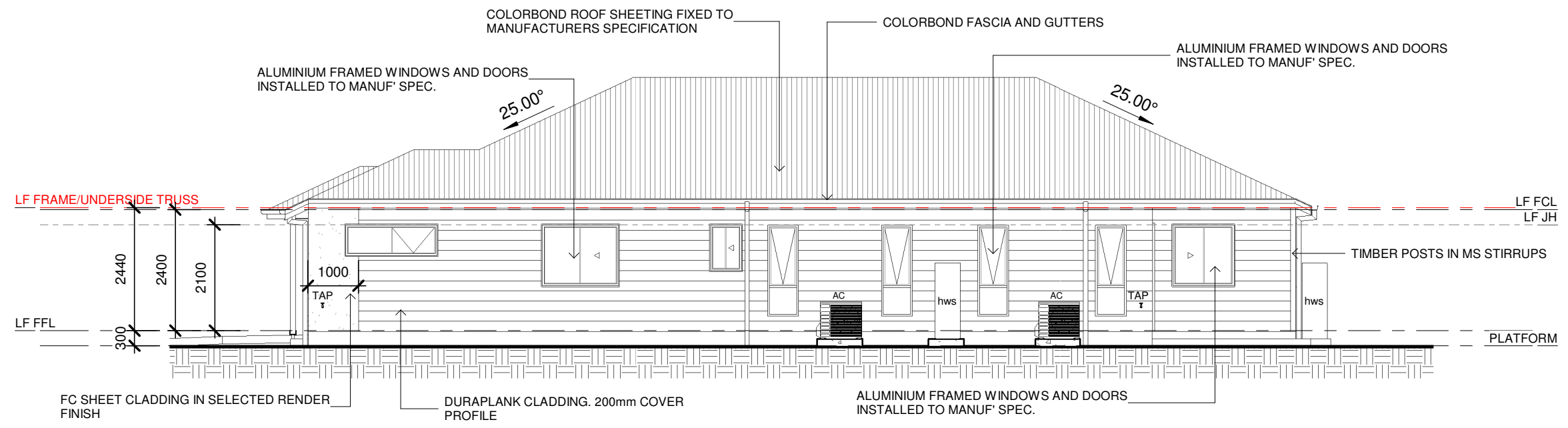
Date:	Drawing No.
10.10.2019	19601
Design Name:	Sheet No.
DUAL OCC	02
Drawn:	
DM	

RP DESCRIPTION
 Lot 31 on SP 301475
 Site Area: 480.00 m²
 Local Authority: MBRC

DOWNSPIPE SCHEDULE	
Level	QUANTITY
LF FFL	8
Total :	8




1 Front Elevation
 1 : 100



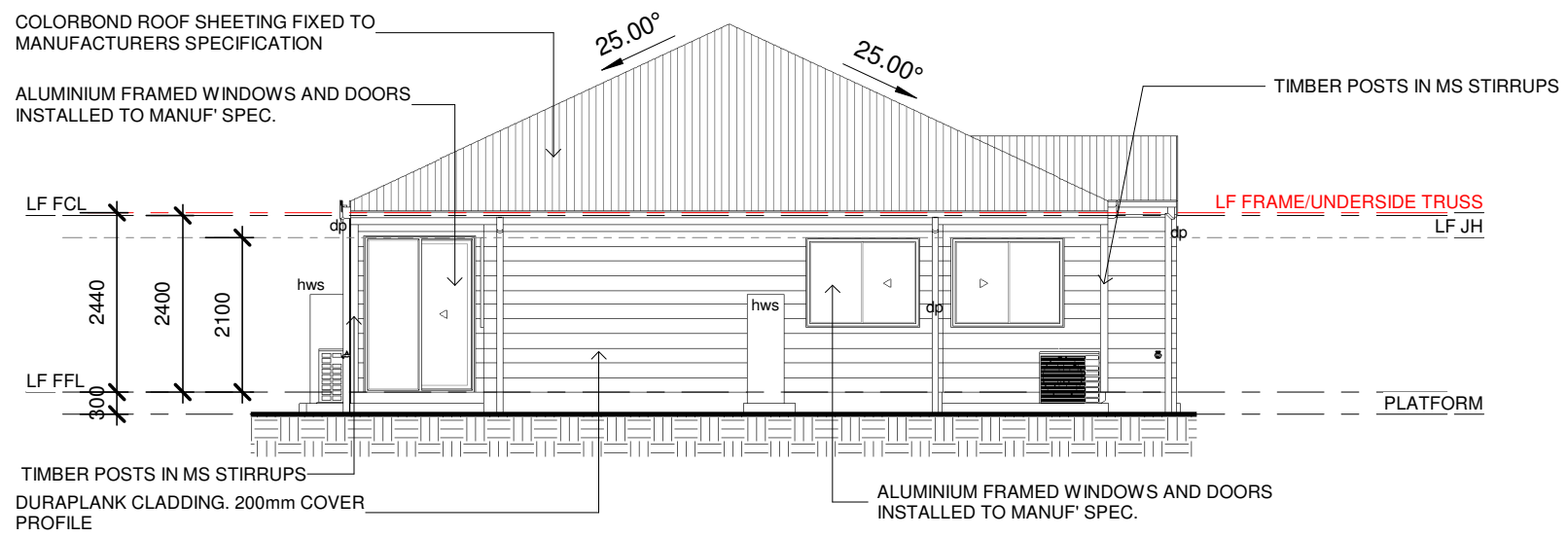
2 Side Elevation
 1 : 100

SITE INFORMATION
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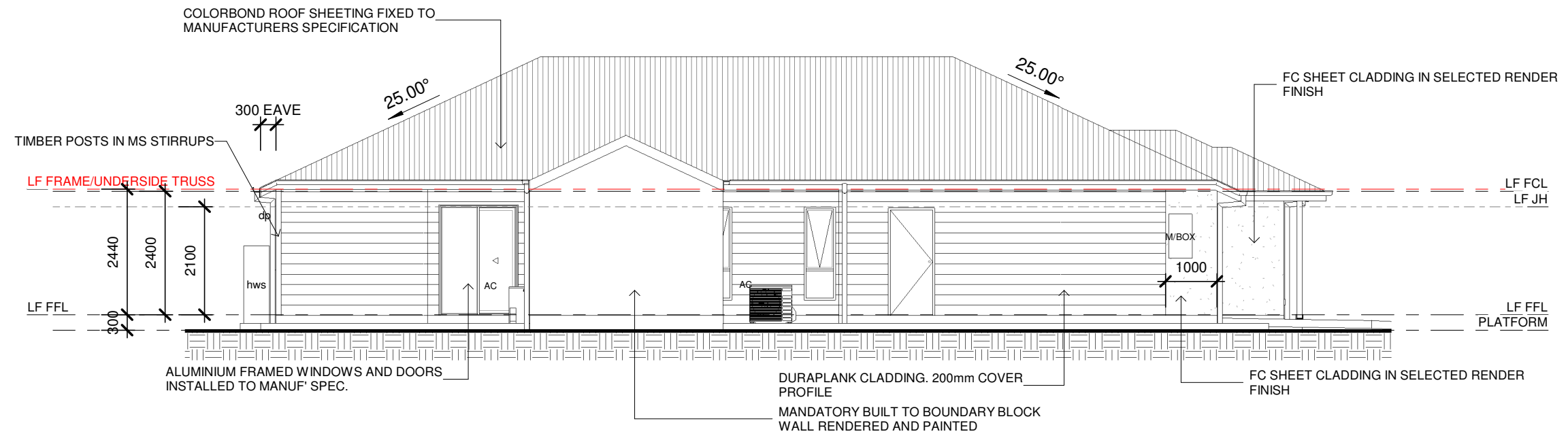
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Rev.	Date	Description	Iss.									
-	10/10/19	CONCEPT DESIGN	DM									
<p>APEX</p>		<p>Facade Type: 1</p>		<p>Colour Selection:</p>	<p>Landscape Selection:</p>	<p>Drawn: DM</p>	<p>Sheet No. 03</p>					

RP DESCRIPTION
 Lot 31 on SP 301475
 Site Area: 480.00 m²
 Local Authority: MBRC

DOWNSPIPE SCHEDULE	
Level	QUANTITY
LF FFL	8
Total :	8



3 Rear Elevation
 1 : 100



4 Side Elevation.
 1 : 100

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DESIGN CONCEPT			
Rev.	Date	Description	Iss.
-	10/10/19	CONCEPT DESIGN	DM

Drawing Title:
Elevations

Proposed Residence for: New Client
 At : Lot 31 CRONIN STREET, MORAYFIELD HEIGHTS (STAGE 4) MORAYFIELD

Facade Type: 1 Colour Selection: Landscape Selection:

Date: 10.10.2019	Drawing No. 19601
Design Name: DUAL OCC	
Drawn: DM	Sheet No. 04