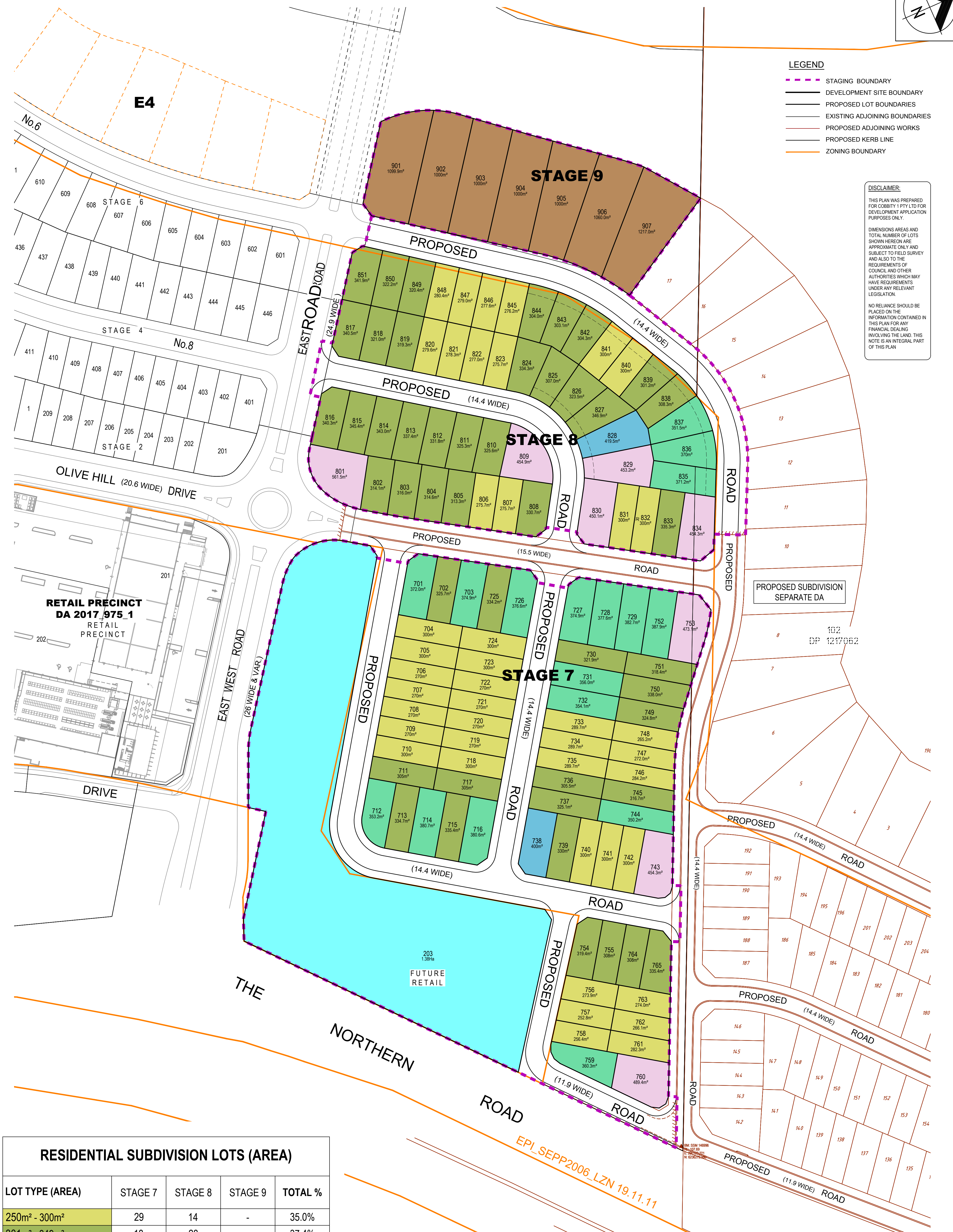


LEGEND

- STAGING BOUNDARY
- DEVELOPMENT SITE BOUNDARY
- PROPOSED LOT BOUNDARIES
- EXISTING ADJOINING BOUNDARIES
- PROPOSED ADJOINING WORKS
- PROPOSED KERB LINE
- ZONING BOUNDARY

DISCLAIMER:
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RESIDENTIAL SUBDIVISION LOTS (AREA)				
LOT TYPE (AREA)	STAGE 7	STAGE 8	STAGE 9	TOTAL %
250m ² - 300m ²	29	14	-	35.0%
301m ² - 349m ²	18	28	-	37.4%
350m ² - 399m ²	14	3	-	13.8%
400m ² - 449m ²	1	1	-	1.6%
450m ² - 999m ²	3	5	-	6.5%
≥1000m ²	-	-	7	5.7%
TOTAL LOTS	65	51	7	100.0%



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SCALE

0 16 32 48m

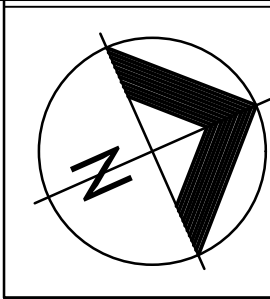
SCALE 1:800 (A1)

PLAN OF PROPOSED SUBDIVISION STAGES 7 - 9

'MASTER PLAN'

SUBJECT LOT	LOT 1002 1251974 BEING SUB OF LOT 501 DP 1231858	JOB CODE
LOCALITY	OXLEY RIDGE	317022
PROJECT NUMBER	317022	
DRAWING FILE	317022_17G_TP01-TP02.dwg	SHEET NUMBER
DATE	10/12/2019	
SHEET	TP01 OF TP02	REV
DRAWING SCALE	1:800 @ A1	TP01 G

FILE NAME: 317022_17G_TP01-TP02.DWG



LEGEND

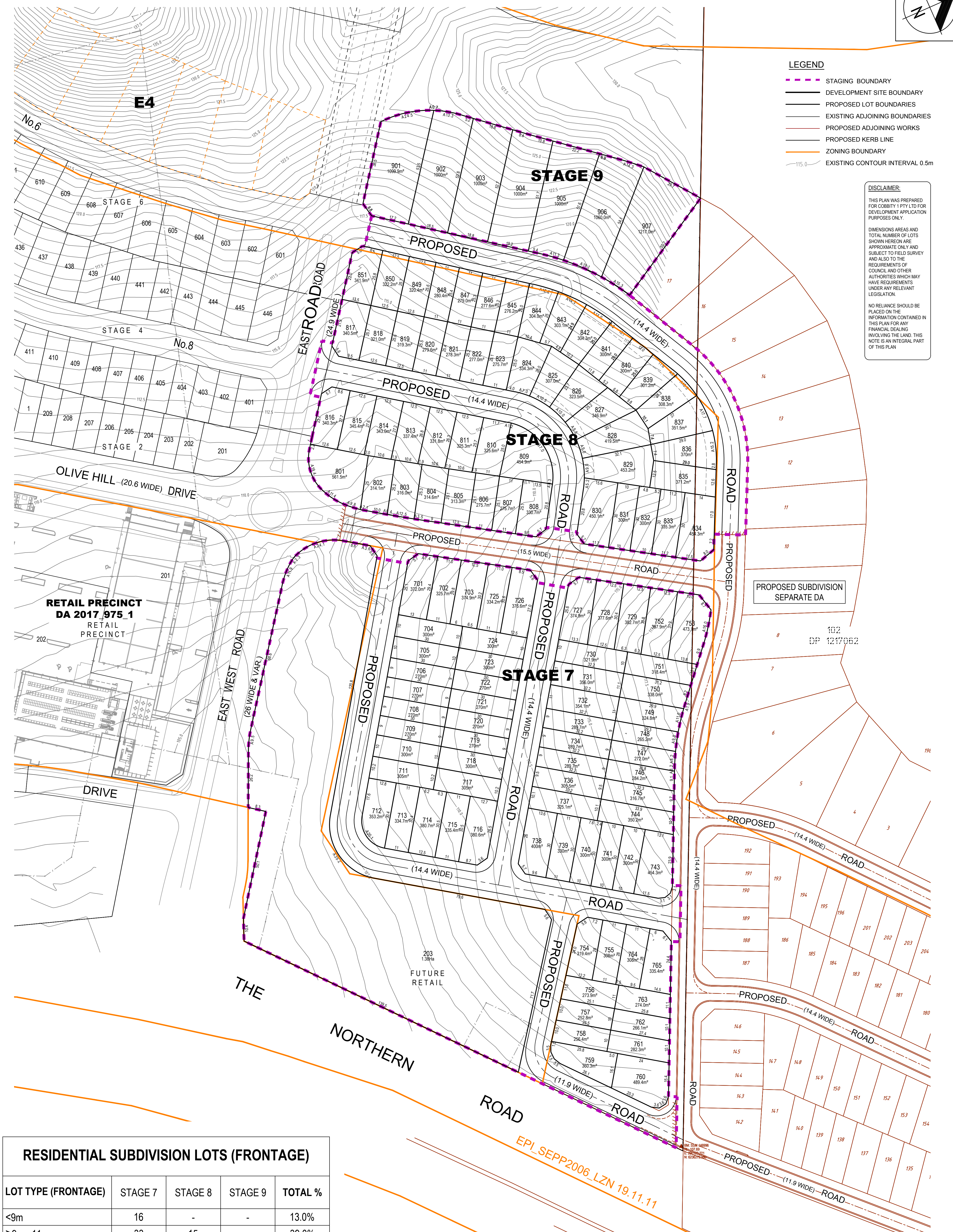
- STAGING BOUNDARY
- DEVELOPMENT SITE BOUNDARY
- PROPOSED LOT BOUNDARIES
- EXISTING ADJOINING BOUNDARIES
- PROPOSED ADJOINING WORKS
- PROPOSED KERB LINE
- ZONING BOUNDARY
- EXISTING CONTOUR INTERVAL 0.5m

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RESIDENTIAL SUBDIVISION LOTS (FRONTAGE)				
LOT TYPE (FRONTAGE)	STAGE 7	STAGE 8	STAGE 9	TOTAL %
<9m	16	-	-	13.0%
≥9m - 11m	33	15	-	39.0%
≥11m - 13m	11	23	-	27.6%
≥13m - 15m	2	7	-	7.3%
≥15m	3	6	-	7.3%
≥1000m²	-	-	7	5.7%
TOTAL LOTS	65	51	7	100.0%

DRAFT



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WEB: www.premise.com.au

SCALE

0 16 32 48m

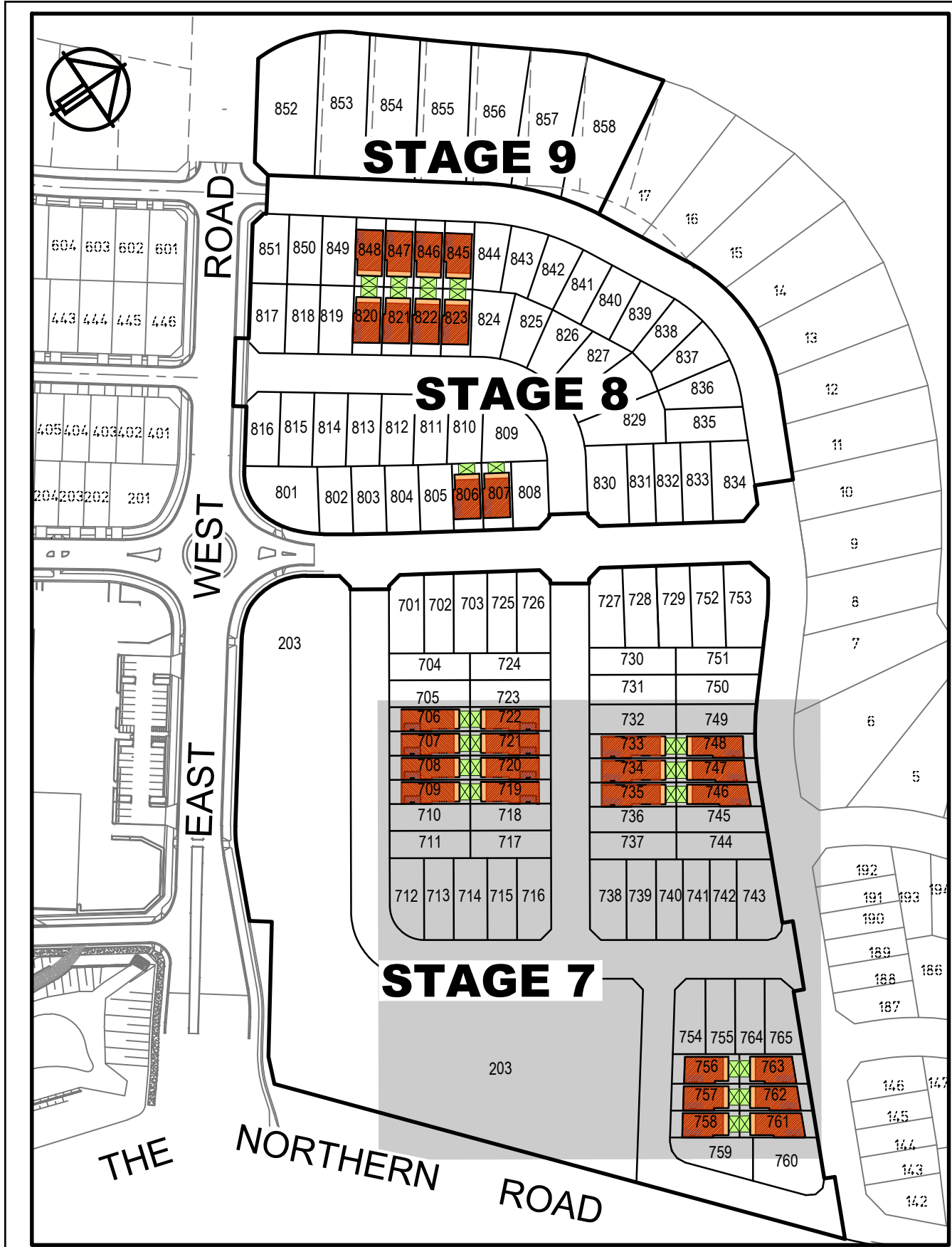
SCALE 1:800 (A1)

PLAN OF PROPOSED SUBDIVISION STAGES 7 - 9
'LOT LAYOUT PLAN'

SUBJECT LOT	LOT 1002 1251974 BEING SUB OF LOT 501 DP 1231858	JOB CODE
LOCALITY	OXLEY RIDGE	
PROJECT NUMBER	317022	317022
DRAWING FILE	317022_17G_TP01-TP02.dwg	
DATE	10/12/2019	
SHEET	TP02 OF TP02	
DRAWING SCALE	1:800 @ A1	

SHEET NUMBER	REV
TP02	G

FILE NAME: 317022_17G_TP01-TP02.DWG

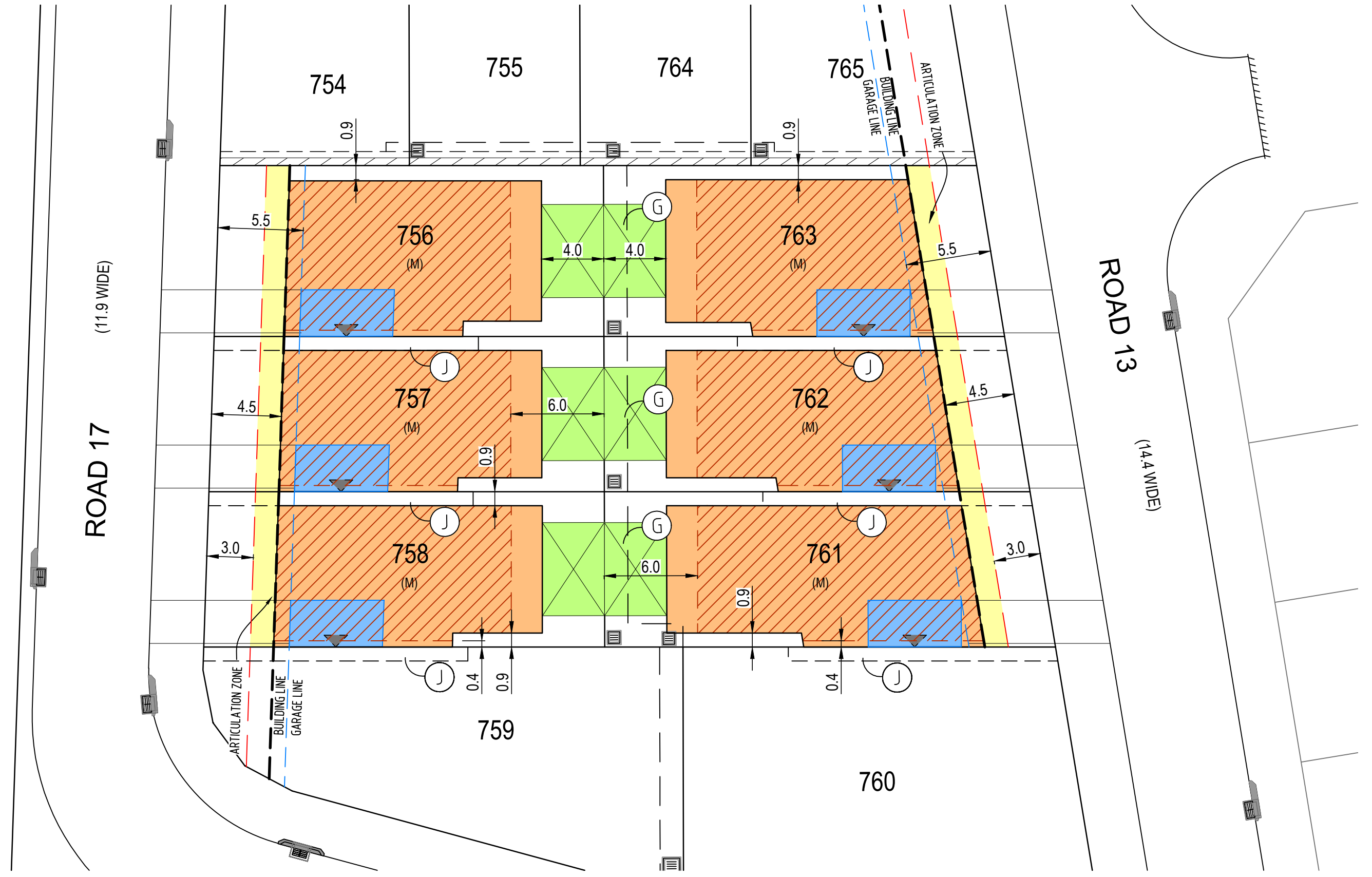
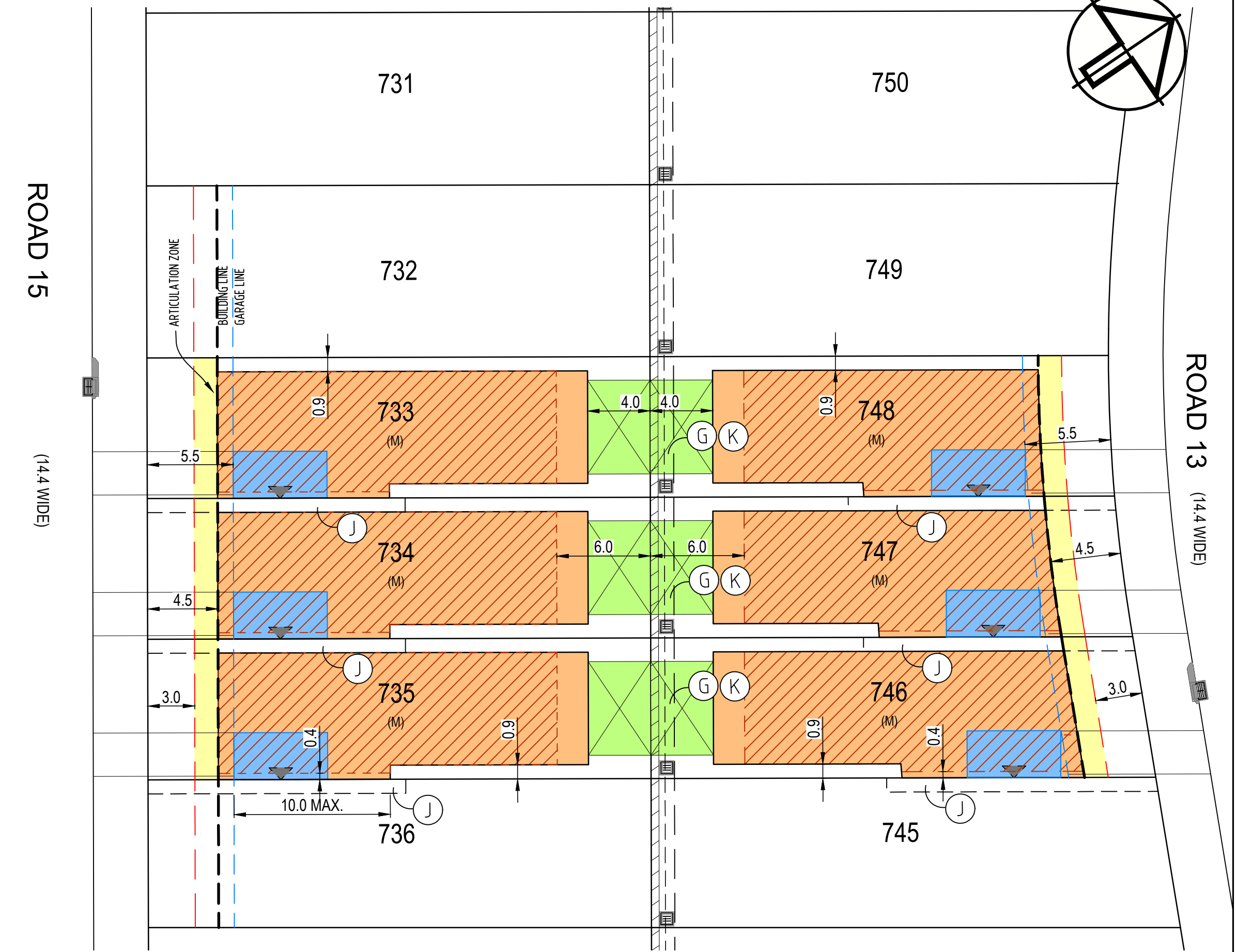
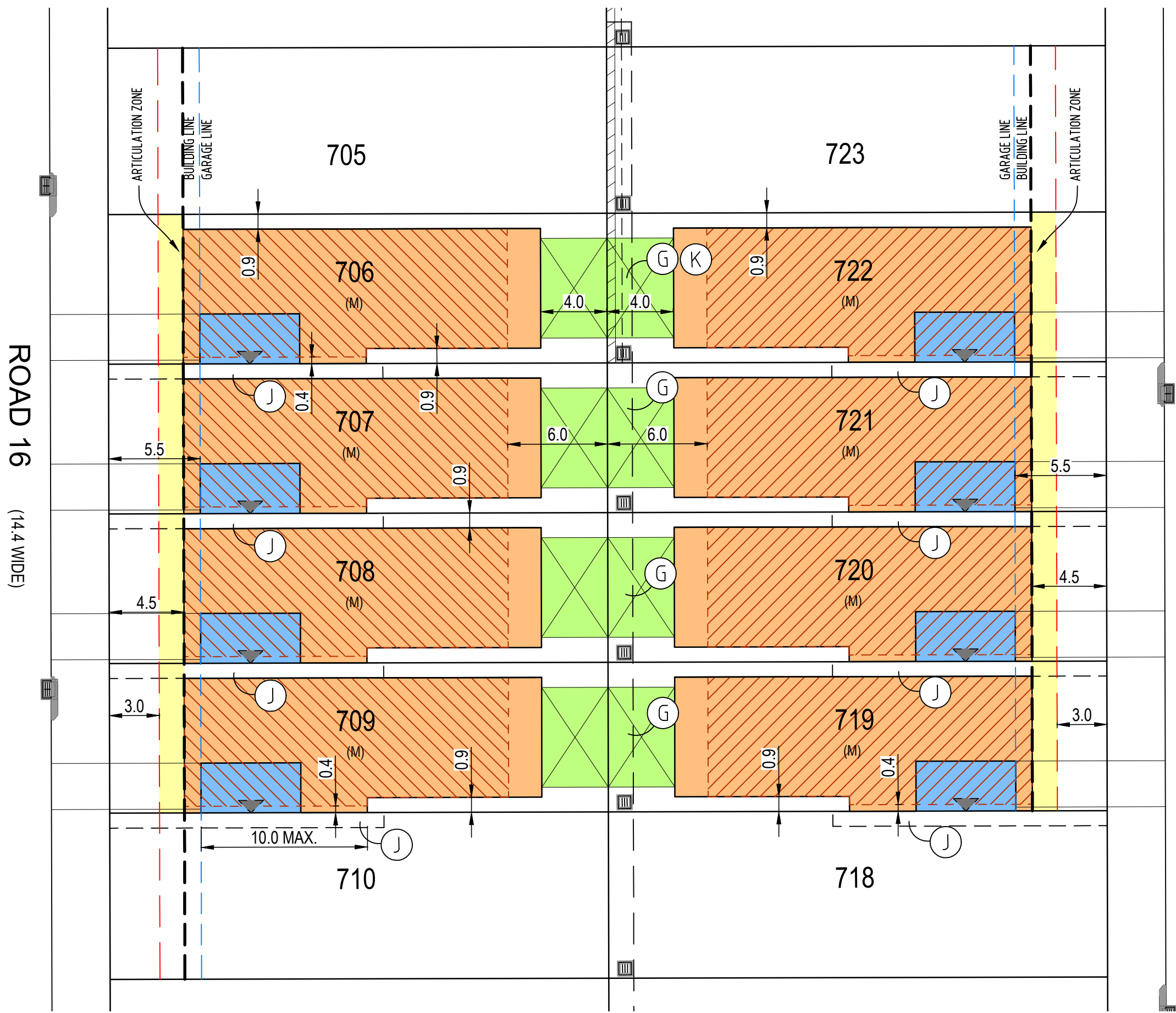


SITE LOCALITY
0 40 80 120m
SCALE 1:2000 (A1)

KEY:

- MINIMUM BUILDING SETBACK
 - ARTICULATION ZONES
 - MINIMUM GARAGE SETBACK
 - ▼ ZERO LOT BOUNDARY
 - PRIMARY BUILDING
 - PREFERRED 2 STOREY LOCATION
 - PREFERRED GARAGE LOCATION
 - HIGH SIDE FENCING
 - PRINCIPAL PRIVATE OPEN SPACE
 - ⑥ EASEMENT TO DRAIN WATER 1.5 WIDE
 - ⑦ EASEMENT FOR SUPPORT AND MAINTENANCE 0.9 WIDE
 - ⑧ EASEMENT FOR SUPPORT 0.9 WIDE
 - PROPOSED RETAINING WALL
 - 15 LOT NUMBERS
- (G) EASEMENT TO DRAIN WATER 1.5 WIDE
(J) EASEMENT FOR SUPPORT & MAINTENANCE 0.9 WIDE
(K) EASEMENT FOR SUPPORT & MAINTENANCE 0.9 WIDE
(M) POSITIVE COVENANT (BUILDING ENVELOPE)

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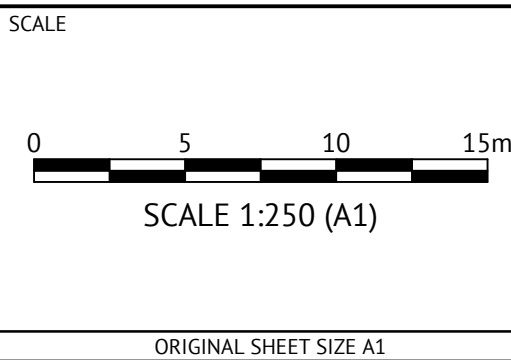


PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS
16/12/2019	A	ISSUED FOR DA APPROVAL	PS WRS
			REC APP

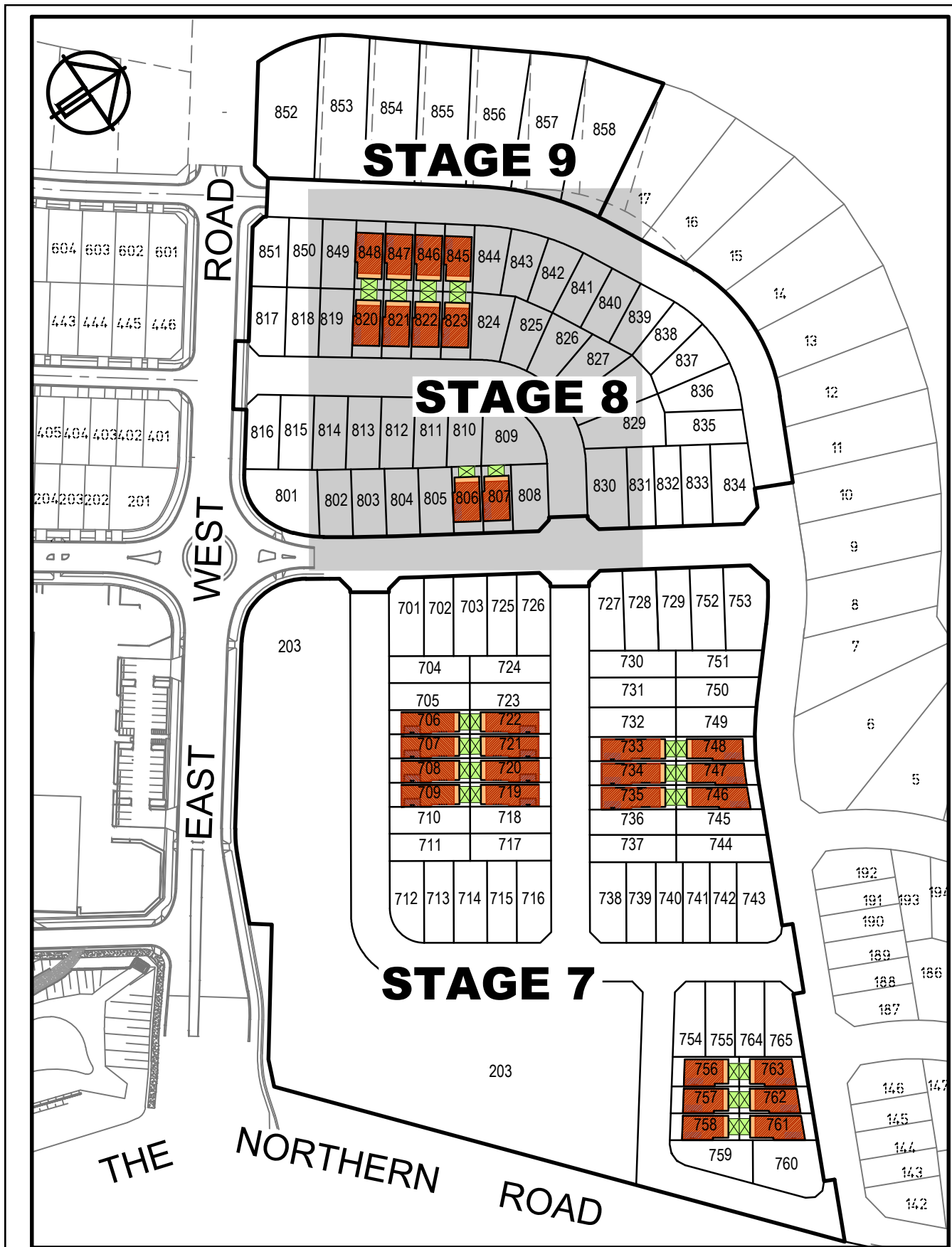
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SUITE 301, LEVEL 3 ORAN PARK PODIUM
351 ORAN PARK DRIVE
ORAN PARK, NSW 2570
PH: (02) 4632 6500
WEB: www.premise.com.au

DESIGNED
P. SITHIRAIVONGSA
CHECKED
W.R. SAUNDERS
PROJECT MANAGER
W.R. SAUNDERS
REGISTERED SURVEYOR



CLIENT
COBBITTY 1 PTY LTD
PROJECT
PLAN OF PROPOSED SUBDIVISION LOT 1002 DP 1251974
LOCATION
OXLEY RIDGE COBBITTY STAGE 7-9
SHEET TITLE
BUILDING ENVELOPE PLAN (BEP) - SHEET 1 OF 2

JOB CODE
317022
SHEET NUMBER
TP01
REV
A



SITE LOCALITY
0 40 80 120m
SCALE 1:2000 (A1)

- KEY:**
- MINIMUM BUILDING SETBACK
 - ARTICULATION ZONES
 - MINIMUM GARAGE SETBACK
 - ▼ ZERO LOT BOUNDARY
 - PRIMARY BUILDING
 - PREFERRED 2 STOREY LOCATION
 - PREFERRED GARAGE LOCATION
 - HIGH SIDE FENCING
 - PRINCIPAL PRIVATE OPEN SPACE
 - ⊙ EASEMENT TO DRAIN WATER 1.5 WIDE
 - ⊙ EASEMENT FOR SUPPORT AND MAINTENANCE 0.9 WIDE
 - ⊙ EASEMENT FOR SUPPORT 0.9 WIDE
 - PROPOSED RETAINING WALL
 - 15 LOT NUMBERS
- (G) EASEMENT TO DRAIN WATER 1.5 WIDE
(J) EASEMENT FOR SUPPORT & MAINTENANCE 0.9 WIDE
(K) EASEMENT FOR SUPPORT & MAINTENANCE 0.9 WIDE
(M) POSITIVE COVENANT (BUILDING ENVELOPE)

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DATE	REV	DESCRIPTION	REVISIONS
16/12/2019	A	ISSUED FOR DA APPROVAL	PS WRS
			REC APP

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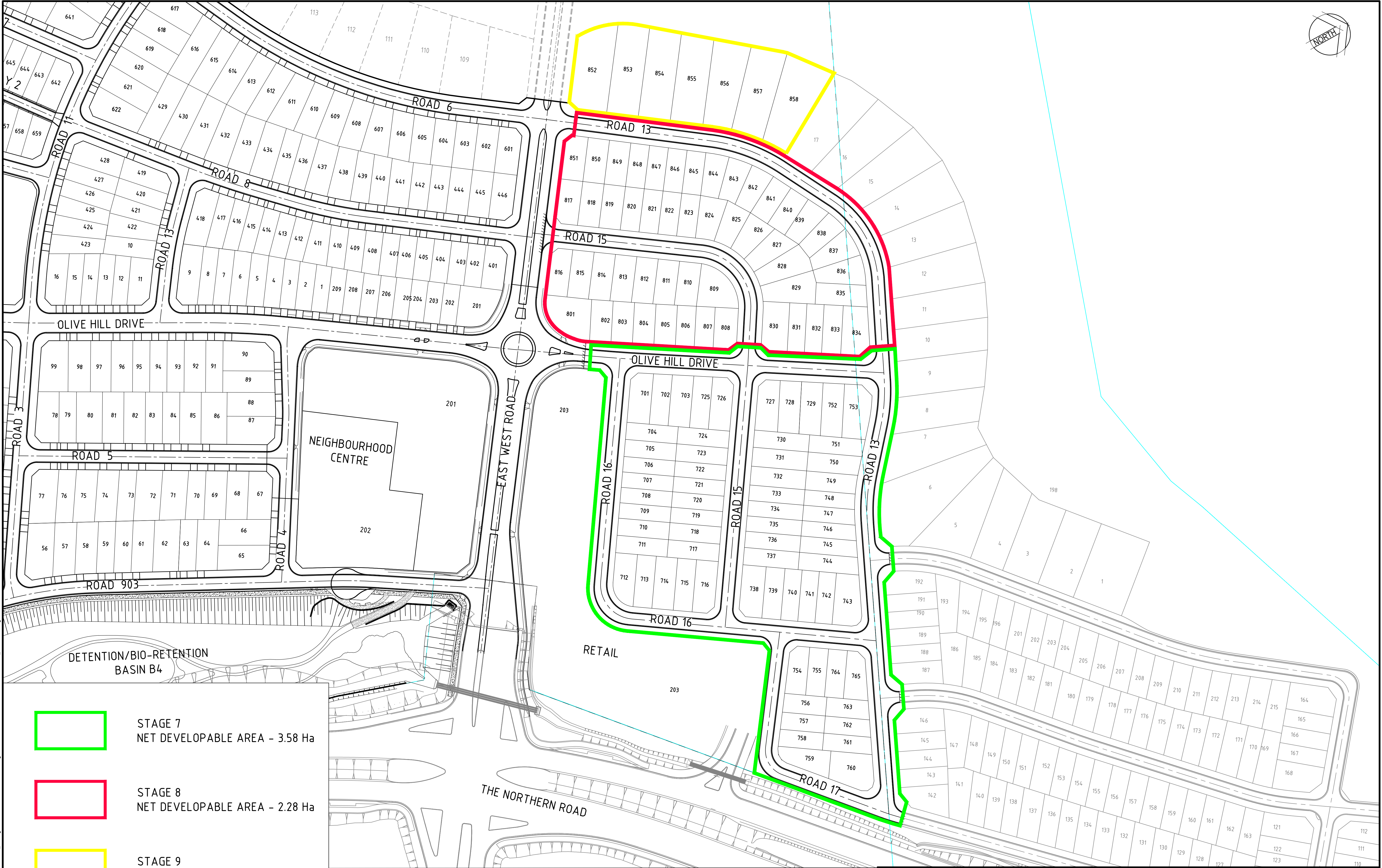
DESIGNED
P. SITHIRAIVONGSA
CHECKED
W.R. SAUNDERS
PROJECT MANAGER
W.R. SAUNDERS
REGISTERED SURVEYOR

SCALE
0 5 10 15m
SCALE 1:250 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
COBBITTY 1 PTY LTD
PROJECT
PLAN OF PROPOSED SUBDIVISION LOT 1002 DP 1251974
LOCATION
OXLEY RIDGE COBBITTY STAGE 7-9
SHEET TITLE
BUILDING ENVELOPE PLAN (BEP) - SHEET 2 OF 2

JOB CODE
317022
SHEET NUMBER
TP02
REV
A

DATE PLOTTED: 20 December 2019 9:45 AM BY: KALIN ZHOU
XREFs: Data\Extra\20160624_m.xr - STAGING PLAN, LONGBUSH MASTERPLAN RES S4.55, XNP-DA-BASE, XRTL-ARCH
CAD File: N:\Paramatta\Projects\80217020_Denhigh-Residential Subdivision\Drawings\Build\Sketch\80217020-SK037 - NDA PLAN_Nhn Prec.dwg



-  STAGE 7
NET DEVELOPABLE AREA - 3.58 Ha
-  STAGE 8
NET DEVELOPABLE AREA - 2.28 Ha
-  STAGE 9
NET DEVELOPABLE AREA - 0.74 Ha



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Web: www.cardno.com.au

COBBITTY 1 PTY LTD OXLEY RIDGE NORTHERN PRECINCT STAGE 7 - 9 NET DEVELOPABLE AREA PLAN				
Datum	Date	Scale	Size	
A.H.D	DEC'19	1:1000	A1	
Drawing Number			Revision	
80217020-SK037			1	