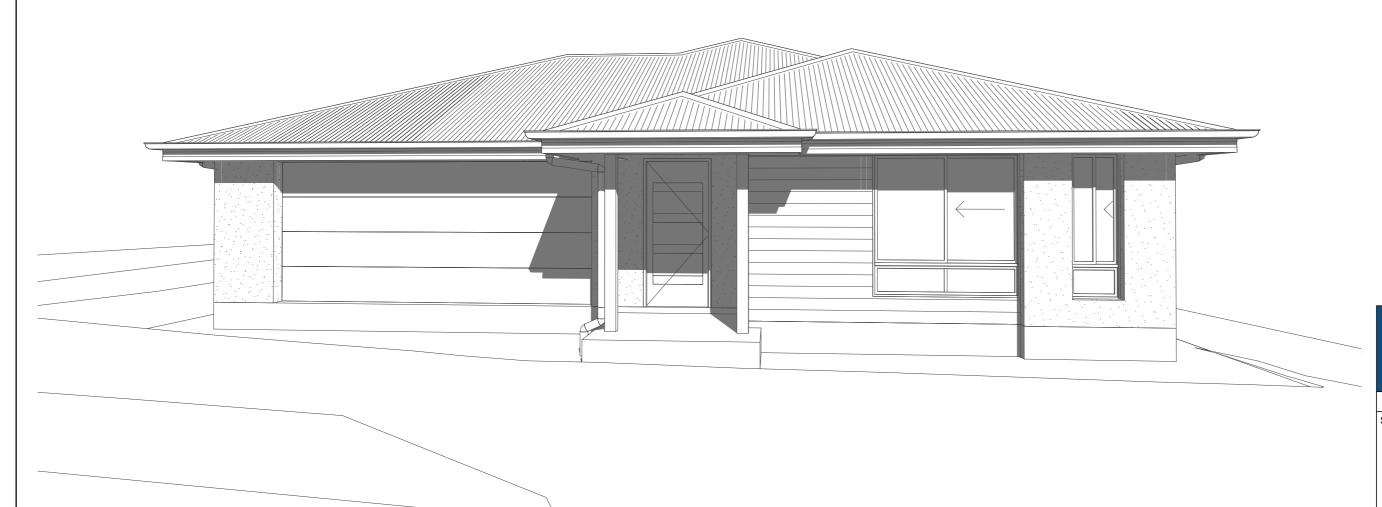
PageNo:	Name
01	PERSPECTIVES
02	NDIS NOTES
03	PROPOSED SITE
04	FLOOR PLAN
05	ELEVATIONS
06	LANDSCAPING

## IMPROVED LIVABILITY DESIGN

## <u>ARTISTIC IMPRESSION ONLY</u>

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Site Address:

Lot 56 Huntley Street Woodchest Estate, Gatton QLD 4343

No. Description.

A 07.10.2020 - Prelims by KA

B 20.10.2020 - Re-Vised Prelim by JA

C 24.11.2020 - Re-Vised Prelim by JA

D .

E E .

G F .

G .

H H .

J .

House Type:

BEAU 217 - IMPROV. LIV. - BC
- SLAB - F3 - HIP - V.1

| Issue: Prelim. | Issue Date: 24.11.2020 |
| Drawn By: - | Checked By: - |
| Scale: As Shown on A3 Page |
| Job No. | Page No. |
| 26919 | 01 |
| Rev: - Plot Date 25/11/2020 |

Prelim. Not For Construction

#### **NDIS - DESIGN STANDARDS**

1. GENERAL REQUIREMENTS
- IMPROVED LIVABILITY DWELLING AS NOTED

#### 2. PEDESTRIAN ENTRY FROM THE SITE BOUNDARY

- A SAFE, CONTINUOUS STEP-FREE ACCESSWAY SHALL BE PROVIDED FROM THE FRONT BOUNDARY OF THE SITE TO AN ENTRY DOORWAY - NO STEPS, LEVEL TRANSITION OF SURFACE MATERIALS & MAX. 3mm OR 5mm BETWEEN SURFACES IS PERMITTED WITH A ROUNDED OR BEVELLED LIP

- IF PROVIDING A CAR PARKING SPACE, FOR ACCESS, IT SHALL BE PROVIDED WITH: MINIMUM DIMENSIONS OF 3200mm (WIDTH) x 5400mm (LENGTH), AN EVEN/ FIRM AND SLIP RESISTANT SURFACE OF P4 OR R11, A LEVEL SURFACE WITH A MAXIMUM 1:40 GRADIENT IN ANY DIRECTION

- IF ACCESS CANNOT BE AACHIEVED FROM FRONT BOUNDARY THEN ACCESSWAY SHALL BE PROVIDED FROM THE CAR PARKING SPACE

#### 4. ENTRANCE, DOORWAYS & DOOR HARDWARE

- 1200X1200mm CLEAR, LEVEL LANDING AREA TO ARRAIVAL SIDE OF DOOR
- DOOR CIRCULATION SPACES TO BE AS PER AS1428.1
- THRESHOLD RAMPS TO BE USED WHERE A STEP FREE DOOWAY **CANNOT BE PROVIDED**
- DOOR HANDLES TO BE 900-1100mm AFL & COMPLY WITH AS1428.1
- KEYLESS FRONT DOOR ENTRY

- 1000mm CLEAR, MEASURED FROM SKIRTING TO SKIRTING

#### **6. SANITARY FACILITIES**

- PROVIDE 12mm THICK REINFORCEMENT TO ALL WALLS FROM FFL TO 2100mm HIGH

(PLEASE NOTE PHOTOGRAPHIC EVIDENCE OF THIS IS REQUIRED PRIOR TO OVERSHEEITING AND TILING FOR SIGN OFF)

- 900(W) x 1200(L) CLEAR SPACE IMMEDIATELY FORWARD OF TOILET PAN

- SLIP RESISTANCE FLOORING TO MIN. P3 OR R10

- MIN. PROVISION OF COOKTOP, RANGEHOOD, OVEN, SINK & DISHWASHER
- 1000mm CLEAR IN FRONT OF ALL FIXED BENCHES
- WHERE APPLIANCE IS NOT INSTALLED A MIN 700mm DEEP RECESS IS TO BE PROVIDED (EG, REFRIGERATOR SPACE)
- TASK LIGHTING AT 1500mm SPACING MAX. ABOVE ALL WORKSPACES AT MIN 300lux
- (DIRECTLY OVER SURFACE OF BENCHTOPS) - EITHER 'D' PULL HANDLES OR PUSH TO OPEN
- CUPBOARDS
- SLIP RESISTANCE FLOORING TO MIN. P3 or R10

#### 8. LAUNDRY

- 1000mm CLEAR IN FRONT OF LAUNDRY REQUIRED - WHERE APPLIANCE IS NOT INSTALLED A MIN 700mm DEEP RECESS IS TO BE PROVIDED (EG, WASHING MACHINE
- SLIP RESISTANCE FLOORING TO MIN. P3 or R10
- INTERNAL FOX DRY 150 DROP DOWN CLOTHESLINE

### 9. BEDROOM

- ALLOWANCE FOR 3100X3100mm CLEAR INTERNAL DIMENSIONS
- MIN 1400mm ROBE SPACE.

- 10. SWITCHES & POWERPOINTS
   LIGHT SWITCHES TO BE BETWEEN 900-1000mm ABOVE FFL ALIGNED HORIZONTALLY WITH DOOR HANDLE AT ENTRANCE TO ROOM.
- LIGHT & GPO TO BE ROCKER/TOGGLE OR PUSH TYPE WITH MIN 35mm WIDTH
- PROVIDE DIMABLE SWITCHES TO LIVING AREAS & BEDROOMS

### 11. FLOORING & SLIP RESISTANCE

- ALL FLOORING TO BE FIRM, EVEN & FEATURE A LEVEL TRANSITION BETWEEN ABUTTING SURFACES OF A MAX. VERTICAL TOLLERANCE OF 3mm OR 5mm PROVIDED

- LIP IS ROUNDED OR BEVELLED - SLIP RESISTANCE FLOORING TO MIN. P3 or R10
- COMPOSITE DECKING OVERLAY TO PORCH & ALFRESCO

#### 12. COMMON USE EXT AREAS

- ALL COMMON USE EXT STAIRS TO COMPLY WITH AS1428.1
- LOCKABLE LETTERBOX
- LETTERBOX HEIGHT BETWEEN 600-1100mm ABOVE FFL
- RAMPS TO COMPLY WITHCLAUSES 2.4 TO 2.12 OF NDIS **DESIGN STANDARDS**

13. STORAGE
- MIN 600mm WIDE STORAGE CUPBOARD TO EACH

#### 14. LUMINANCE CONTRAST REQ.

- ALL DOORWAYS SHALL HAVE A MIN. LUMINANCE CONTRAST OF 30% BETWEEN,
- DOOR LEAF & JAM, or DOOR LEAF & WALL, or ARCHITRAVE & WALL, DOOR LEAF &
- ARCHITRAVE, or DOOR JAMB & ADJACENT WALL
- -SOLID CONTRASTING GLAZING STRIP OF 75mm WIDTH &
- 900mm-1000mm ABOVE FFL TO FULL WIDTH OF GLAZING ARFAS.
- TOILET SEAT TO BACKGROUND (IE, PAN, WALLOR FLOOR)
- CONTRAST BETWEEN FLOOR & WALL

### 15. FIRE SAFE DESIGN

- SMOKE ALARMS TO ALL BERDOOMS AND LIVING SPACES
- EMERGENCY EVACUATION PLAN TO BE PROVIDED TO OCCUPIER OR SUPPORTS

### PLEASE NOTE

REFER TO 'NDIS - DESIGN STANDARD' DOCUMENATION FOR

CLARIFACTION ON ALL ITEMS REQUIRED FOR REQUIRED CERTIFICATION TO NOMINATED STANDARDS



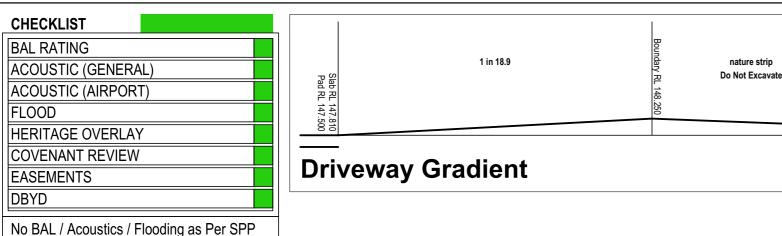
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Lot 56 Huntley Street Woodchest Estate, Gatton QLD 4343

Client:

Description. House Type: A 07.10.2020 - Prelims by KA BEAU 217 - IMPROV. LIV. - BC - SLAB - F3 - HIP - V.1 Issue: Prelim. Issue Date: 24.11.2020 Drawn By: - Checked By: -Scale: As Shown on A3 Page
Job No. Page No.

Rev: - Plot Date 25/11/2020



## **PADLEVELS**

**PL:** 147.500 RL **CUT:** 450mm

FILL: 450mm **FFL:** 147.810 RL

## **PROPERTY DESCRIPTION**

Lot - 56 SP - Disclosure Parish - .

County - . Authority - Lockyer Valley R.C. Area - 820m²

Foot Print - 217.22m<sup>2</sup>

PROVIDE 1:20 GRADE ACCESS PATH TO FRONT BOUNDARY @ 3.8m IN LENGTH. ALL GRADES ARE SUBJECT TO CHANGE WITHOUT NOTICE AND ARE TO BE CONFIRMED WITH FINAL LEVELS PROVIDE ALLOWANCE FOR INCREASE TO ACCESS RAMPS @ 1:14 GRADE WITH AS1428 HANDRAILS

**Site Coverage** Allowed - 50% Achieved - 26.49%

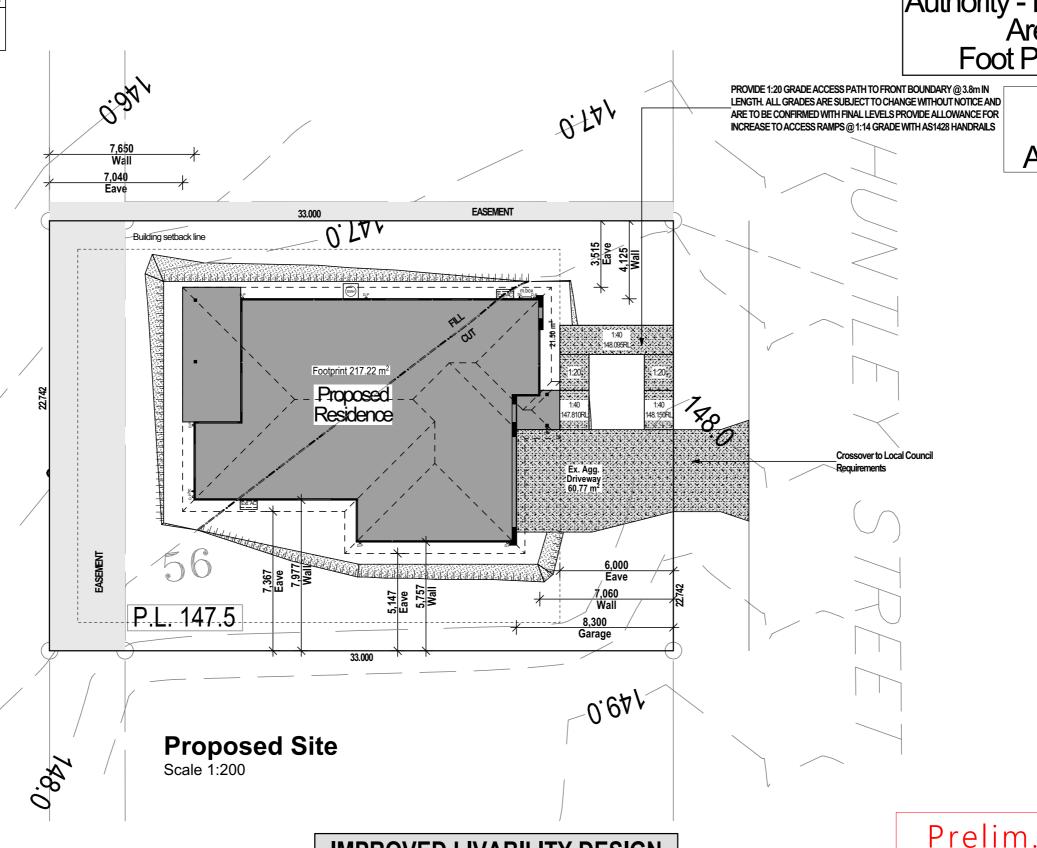


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Issue: Prelim. Issue Date: 24.11.202
Drawn By: - Checked By: Scale: As Shown on A3 Page

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**PROPOSE** 

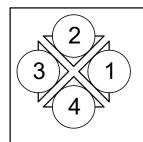


**IMPROVED LIVABILITY DESIGN** 

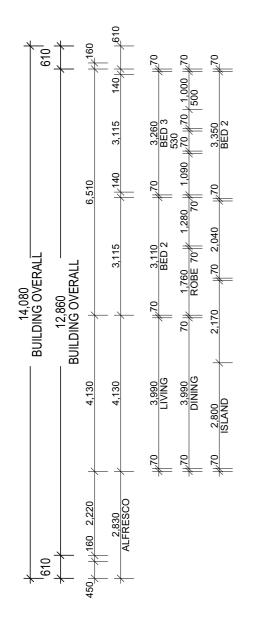
### **Site Notes**

Mapping

- 1.) Contours and levels shown are produced from disclosure plans and are not guaranteed to be correct
- 2.) Topography shown is based on an assumed Datum Point 3.) All survey pegs are to be located prior to earthworks earthworks.
- 4.) Surface water to be drained away from dwelling (provide a 1:20 minimum fall).
- 5.) Unless noted otherwise, removal of existing trees and construction of retaining walls and on site drainage requirements, where required, shall be provided by owner 6.) Maximum batters shall be provided as follows:
- (i) CUT-1:1 (ii) FILL-1:2 (iii) VEHICULAR ACCESS-1:4 7.) The working PAD RL noted on the site plan shall have a tolerance of up to 100mm
- 8.) The Builder takes no responsability for retaining or drainage requirements caused by conditions on adjoining properties. Such works are to be carried out by the owner



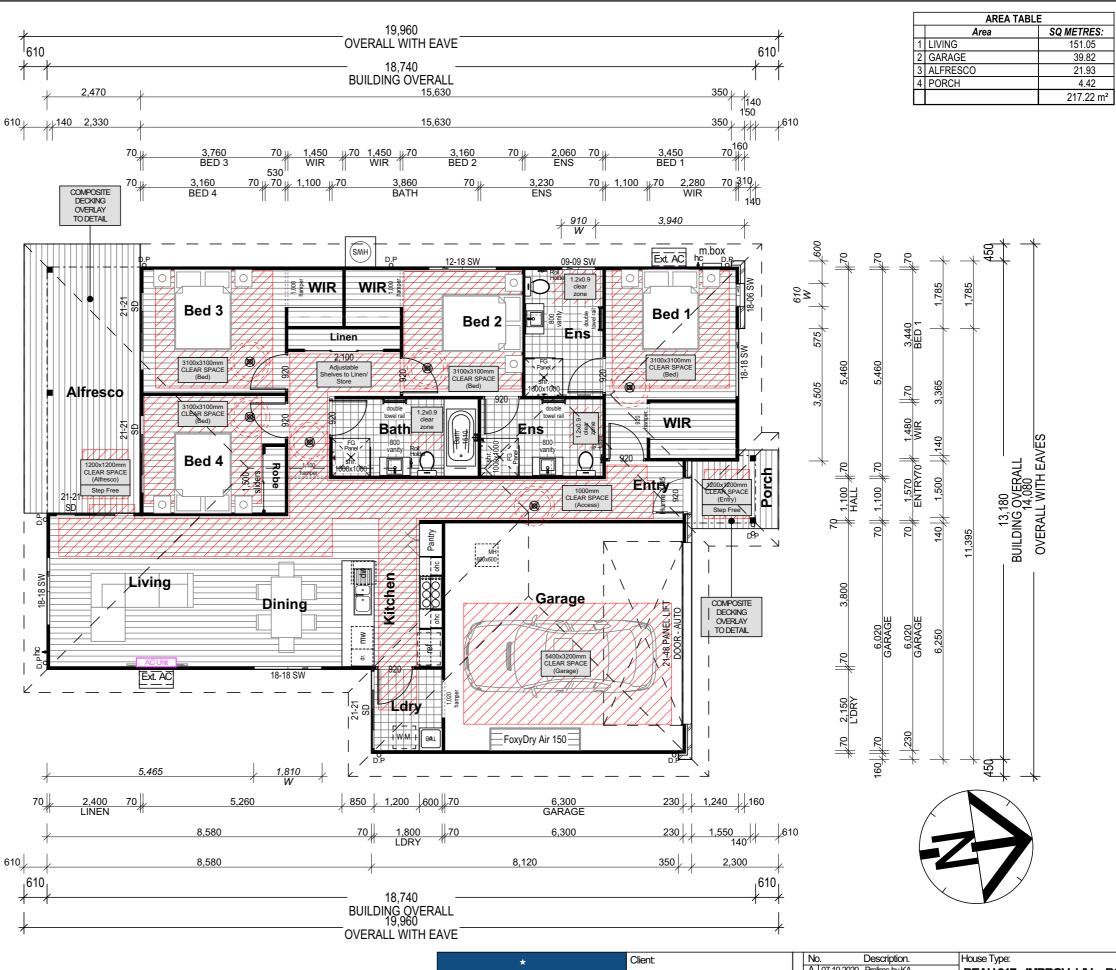
NOTE: Furniture, Vehicles, Landscaping indicated are for illustration only and not included in contract



### **GENERAL INTERNAL UPGRADES**

- MIN. 820mm CLEAR DOORWAY
- 5mm MAX. TOLLERANCE BETWEEN SURFACES - MIN. 1000mm CLEAR PASSAGWAYS
- WC TO HAVE 900mm CLEAR WIDTH & 1200mm CLEAR CIRCULATION SPACE IN FRONT CLEAR OF DOOR SWING
- BATHROOM TO HAVE SLIP RESISTANT HOBLESS SHOWER (with screens to be easily removed at later date)
- SHR LOCATED IN CORNER WITH REINFORCEMENT TO WALLS FOR FUTURE GRABRAILS - PROVIDE NOGGING & PLYWOOD SHEETING TO
- WC, BATH, SHR AS PER DETAILS
  PROVIDE SLIP RESISTANT FLOORING THOUGHOUT
- PROVIDE SLIP RESISTANT FLOORING THOUGHOUT
   KITCHEN & LDY TO HAVE FLOORING LAID UNDER
  CABINTRY TO ALLOW FOR EASY REMOVAL

**IMPROVED LIVABILITY DESIGN** 



### **Ground Floor Plan**

Scale 1:100

Prelim.

Not For Construction

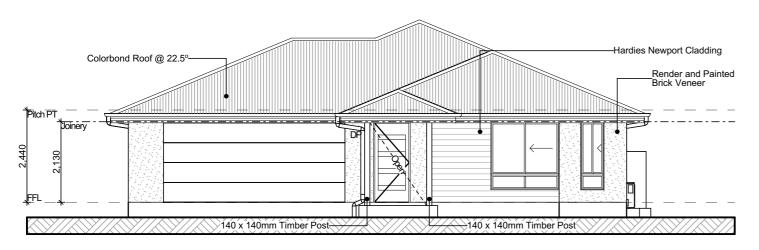


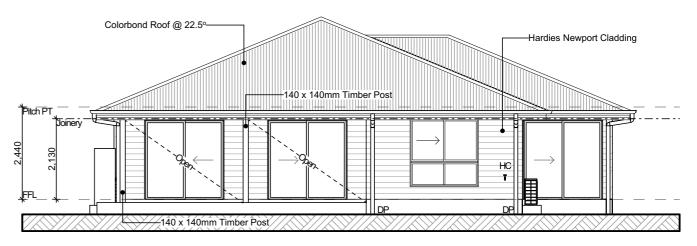
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Issue: Prelim. Issue Date: 24.11.2020
Drawn By: - Checked By: Scale: As Shown on A3 Page
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FLOOR PLAN

**2 5 9 1 9 U 4** ev: - Plot Date 25/11/20



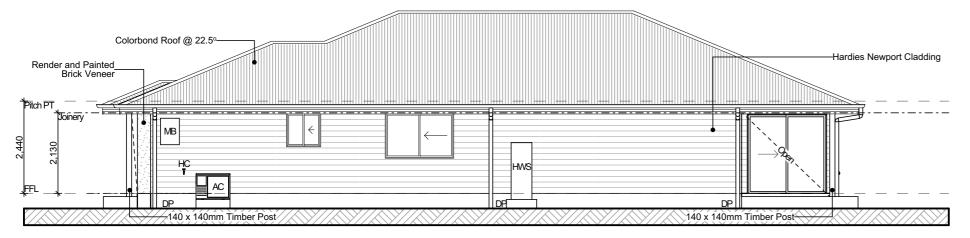


### **Elevation 1**

Scale 1:100

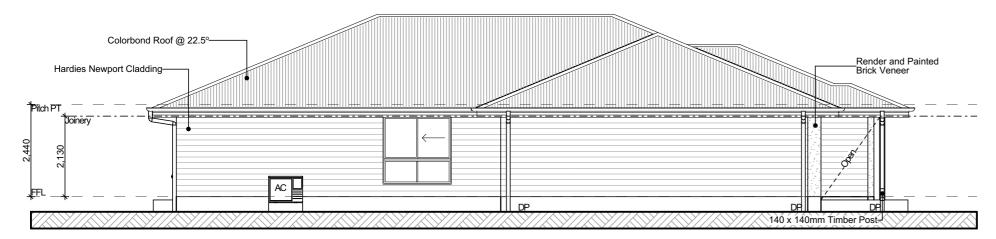
### **Elevations 3**

Scale 1:100



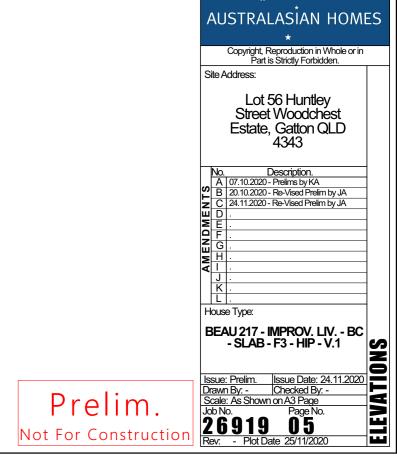
### **Elevation 2**

Scale 1:100



### **Elevation 4**

Scale 1:100



IMPROVED LIVABILITY DESIGN

````\\`\\\`\\\\\\\\\\\\\\\\\\\\\\\\\\\	
Δ Δ Δ	Exposed Aggregate Concrete
	Selected Pebbles With Weed Mat Under
	Proposed Edged Garden Bed
	Proposed Turfed Area
<b>-</b>	Proposed 1800mm Treated Pine Paling Fence

Landscaping Area Totals	
Material Type	Area
Proposed Edged Garden Bed	11.62
Proposed Turf	525.19
Select Pebbles With Weed Mat Under	3.61

ANDSCAPING SUBJECT TO
CHANGED BASED ON SITE
CONDITIONS.

TURF MAYBE SUBSTITUTED WITH LANDSCAPING GRAVELTO AREAS OF LOW LIGHT.

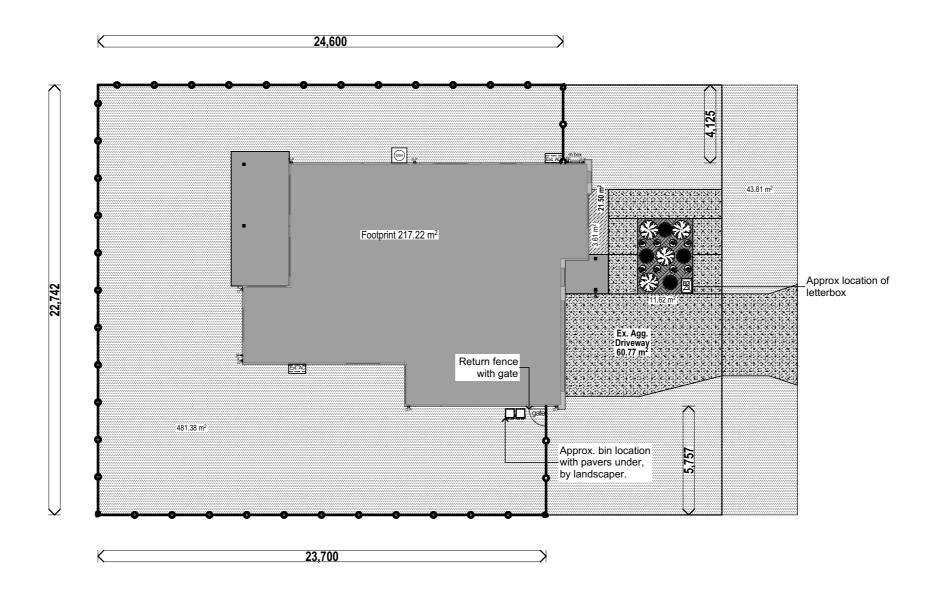
PROPOSED RETAININGWALLSAND FENCING IS SUBJECT TO CHANGE.

PLANTS ARE INDICATIVE ONLY.

## **PROPERTY DESCRIPTION**

Lot - 56

SP - Disclosure Parish - . County - .
Authority - Lockyer Valley R.C.
Area - 820m²
Foot Print - 217.22m²



### FRONTAGE LANDSCAPE LAYOUT

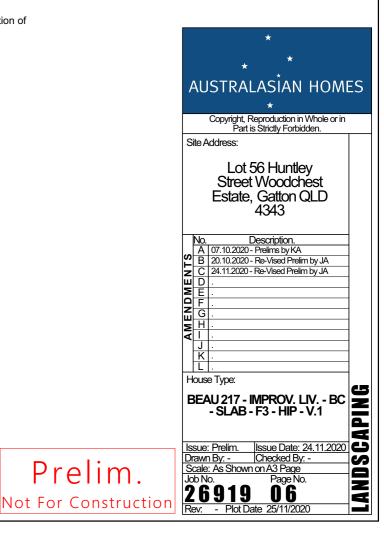
- TOTAL GARDEN BED AREA: APPROX 10M<sup>2</sup>
- 1 X TREE SPECIES
- 7 X SHRUBS
- 13 X GROUND COVERS

## Landscaping

Scale 1:200

**IMPROVED LIVABILITY DESIGN** 





Prelim.