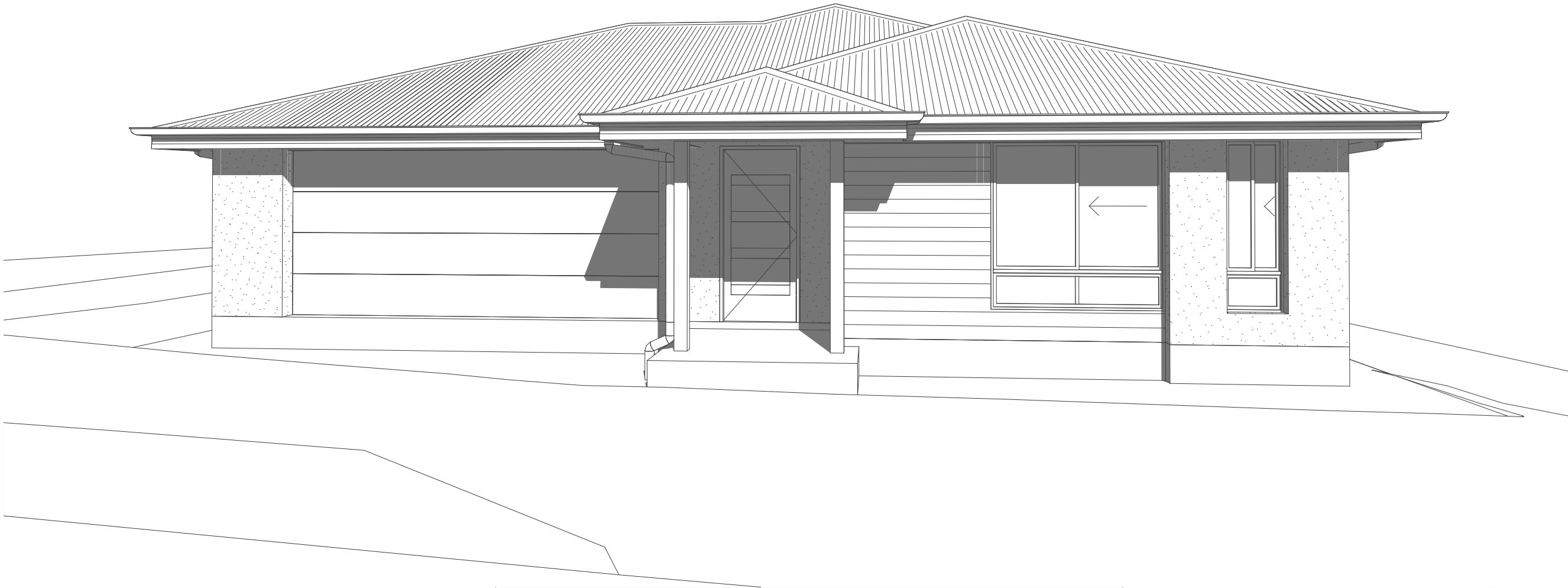


PageNo:	Name
01	PERSPECTIVES
02	NDIS NOTES
03	PROPOSED SITE
04	FLOOR PLAN
05	ELEVATIONS
06	LANDSCAPING

IMPROVED LIVABILITY DESIGN

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Site Address:

Lot 56 Huntley Street Woodchest Estate, Gatton QLD 4343

AMENDMENTS	No.	Description.
	A	07.10.2020 - Prelims by KA
	B	20.10.2020 - Re-Vised Prelim by JA
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	K	
L		

House Type:

BEAU 217 - IMPROV. LIV. - BC

- SLAB - F3 - HIP - V.1

Issue: Prelim.	Issue Date: 24.11.2020
Drawn By: -	Checked By: -
Scale: As Shown on A3 Page	
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26919	01
Rev. - Plot Date 25/11/2020	

PERSPECTIVES

Prelim.
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		Scale: As Shown on A3	Page			
		Job No.	Page No.			
		26919	02			
		Rev: -	Plot Date 25/11/2020			

No BAL / Acoustics / Flooding as Per SPP Mapping



PL: 147.500 RL
CUT: 450mm
FILL: 450mm
FFL: 147.810 RL

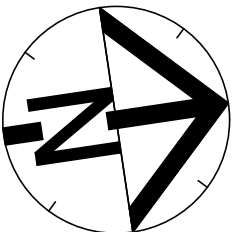
Lot - 56
SP - Disclosure
Parish - .
County - .
Authority - Lockyer Valley R.C.
Area - 820m²
Foot Print - 217.22m²

<p>Site Coverage Allowed - 50% Achieved - 26.49%</p>



- 1.) Contours and levels shown are produced from disclosure plans and are not guaranteed to be correct
- 2.) Topography shown is based on an assumed Datum Point.
- 3.) All survey pegs are to be located prior to earthworks earthworks.
- 4.) Surface water to be drained away from dwelling (provide a 1:20 minimum fall).
- 5.) Unless noted otherwise, removal of existing trees and construction of retaining walls and on site drainage requirements, where required, shall be provided by owner.
- 6.) Maximum batters shall be provided as follows:
 - (i) CUT-1:1
 - (ii) FILL-1:2
 - (iii) VEHICULAR ACCESS-1:4
- 7.) The working PAD RL noted on the site plan shall have a tolerance of up to 100mm
- 8.) The Builder takes no responsibility for retaining or drainage requirements caused by conditions on adjoining properties. Such works are to be carried out by the owner.

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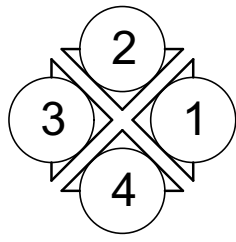
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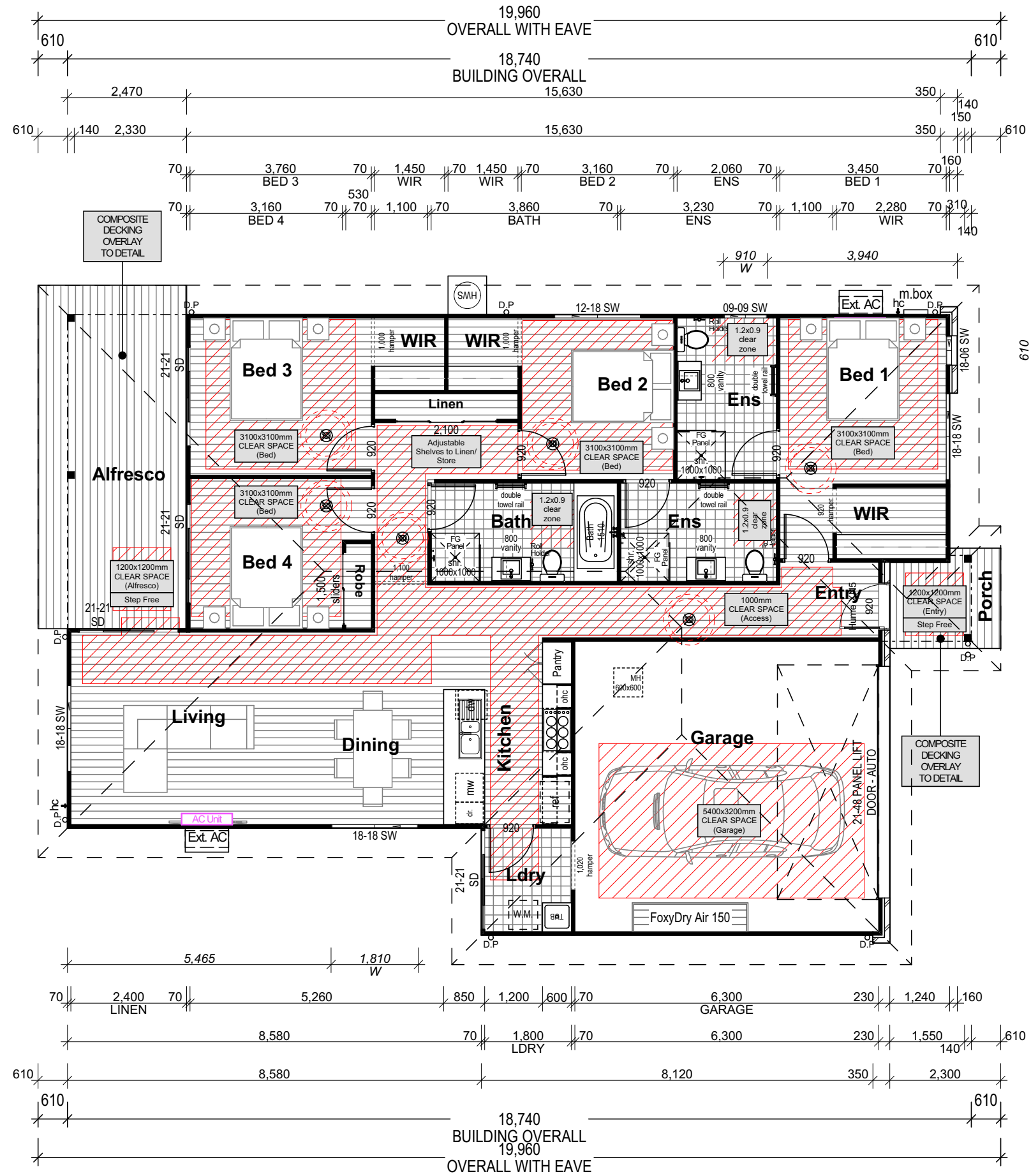
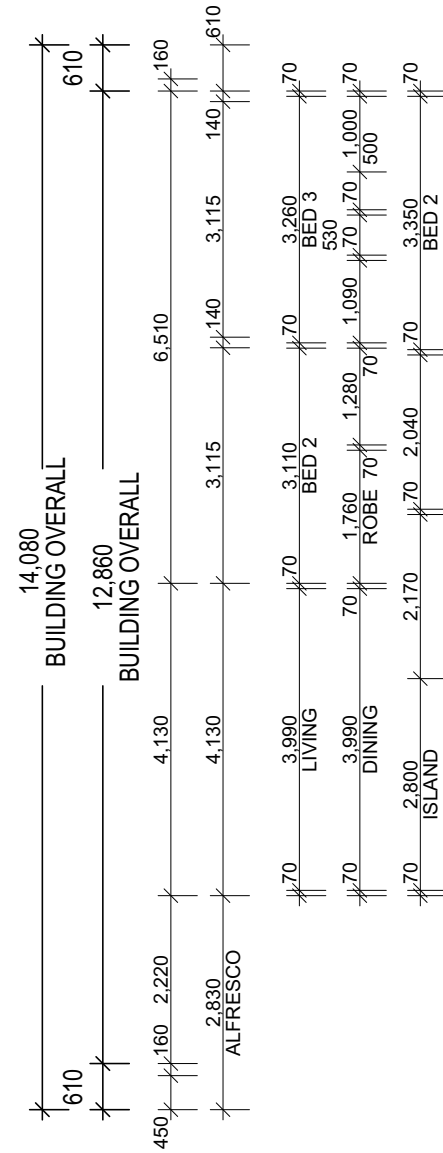
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Rev: - Plot Date 25/11/2020	

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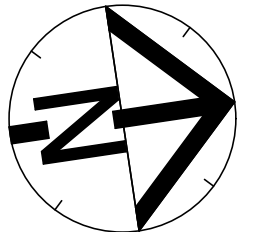
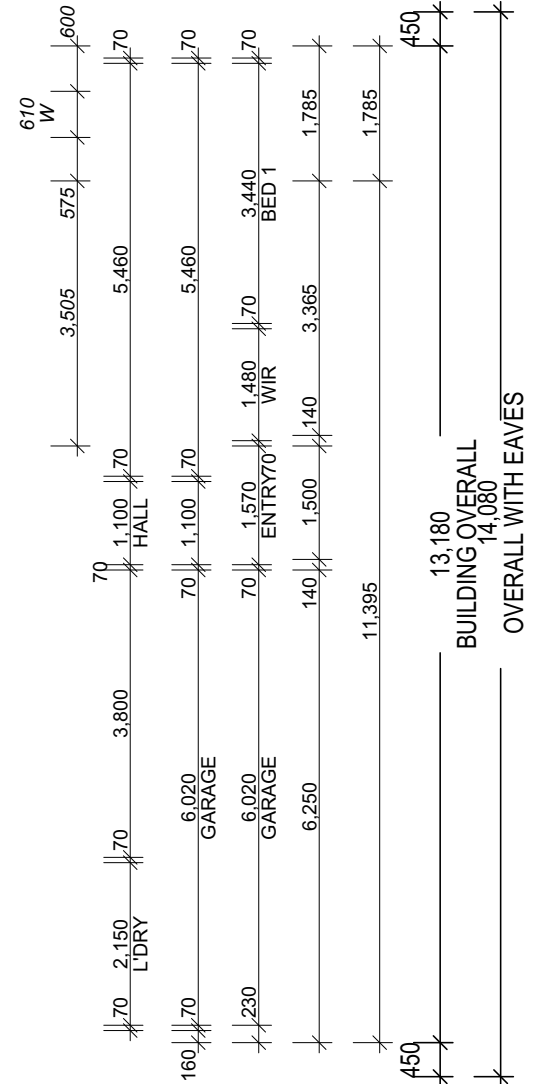
PROPOSED SITE



NOTE: Furniture, Vehicles, Landscaping indicated are for illustration only and not included in contract



AREA TABLE		
	Area	SQ METRES:
1	LIVING	151.05
2	GARAGE	39.82
3	ALFRESCO	21.93
4	PORCH	4.42
		217.22 m²



GENERAL INTERNAL UPGRADES

- MIN. 820mm CLEAR DOORWAY
- 5mm MAX. TOLLERANCE BETWEEN SURFACES
- MIN. 1000mm CLEAR PASSAGWAYS
- WC TO HAVE 900mm CLEAR WIDTH & 1200mm CLEAR CIRCULATION SPACE IN FRONT CLEAR OF DOOR SWING
- BATHROOM TO HAVE SLIP RESISTANT HOBLESS SHOWER (with screens to be easily removed at later date)
- SHR LOCATED IN CORNER WITH REINFORCEMENT TO WALLS FOR FUTURE GRABRAILS
- PROVIDE NOGGING & PLYWOOD SHEETING TO WC, BATH, SHR AS PER DETAILS
- PROVIDE SLIP RESISTANT FLOORING THOUGHOUT
- KITCHEN & LDY TO HAVE FLOORING LAID UNDER CABINTRY TO ALLOW FOR EASY REMOVAL

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Ground Floor Plan

Scale 1:100

Prelim.
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FLOOR PLAN

Client:

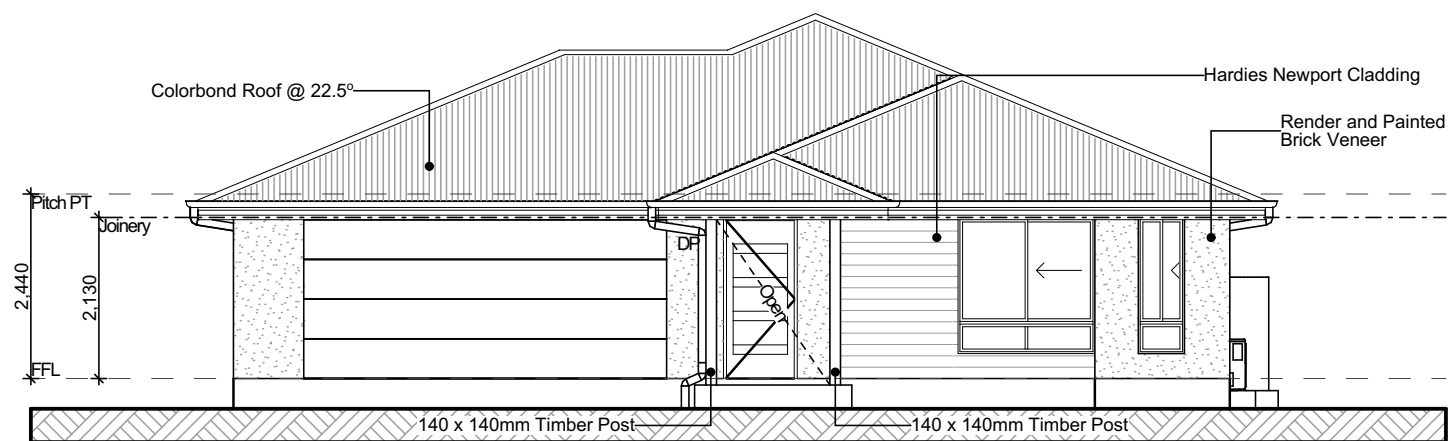
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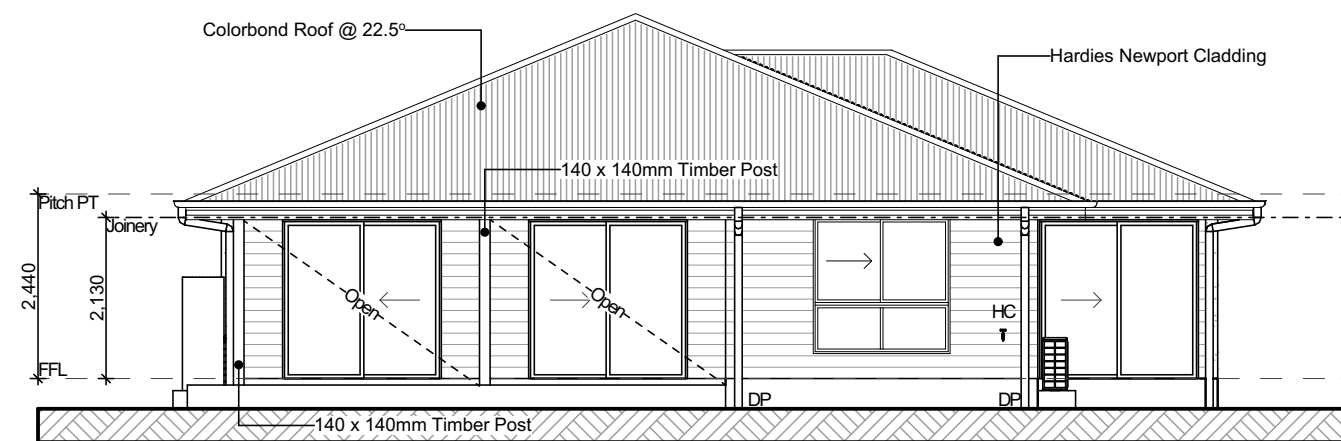
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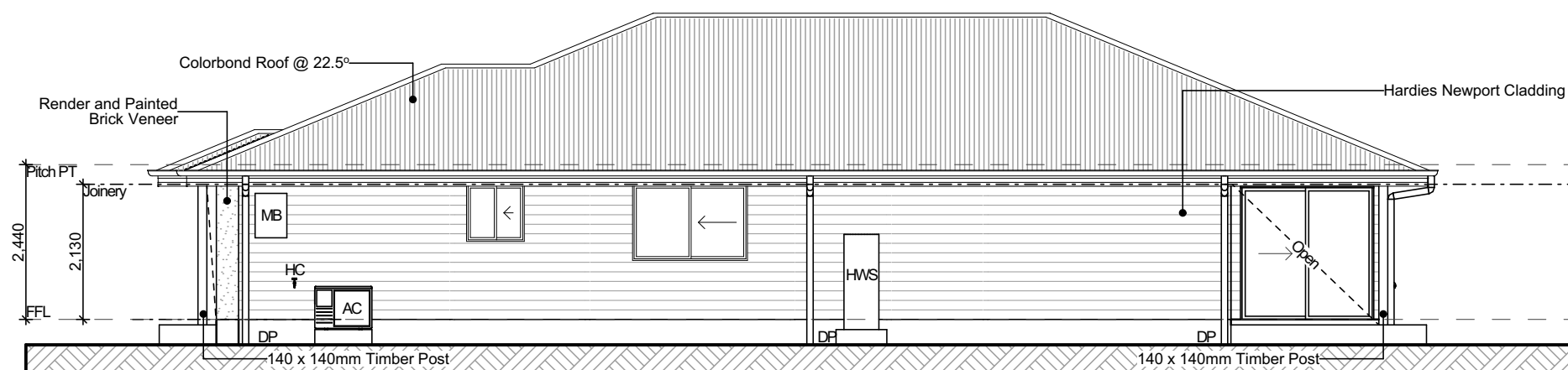
Elevation 1

Scale 1:100



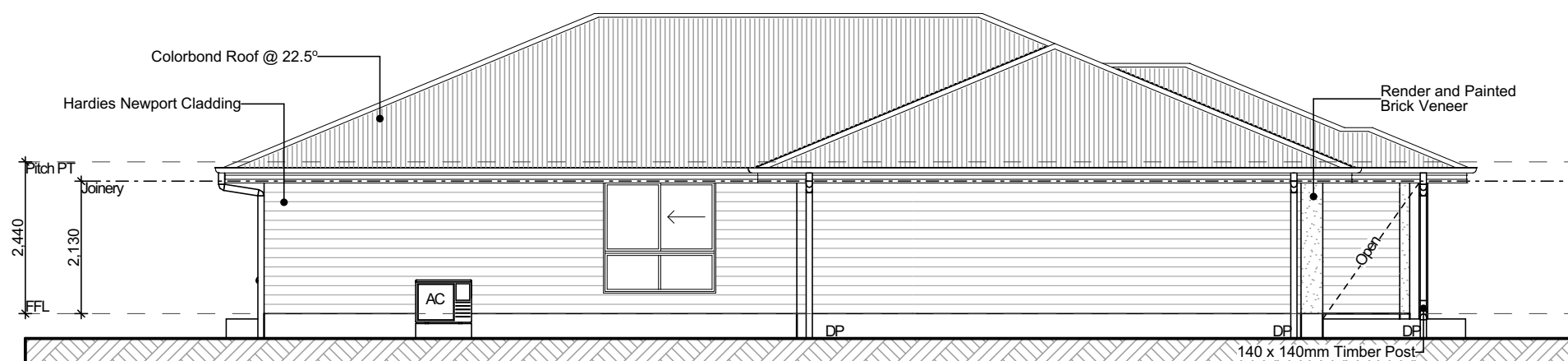
Elevations 3

Scale 1:100



Elevation 2

Scale 1:100



Elevation 4

Scale 1:100

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Rev. -	Plot Date 25/11/2020

ELEVATIONS



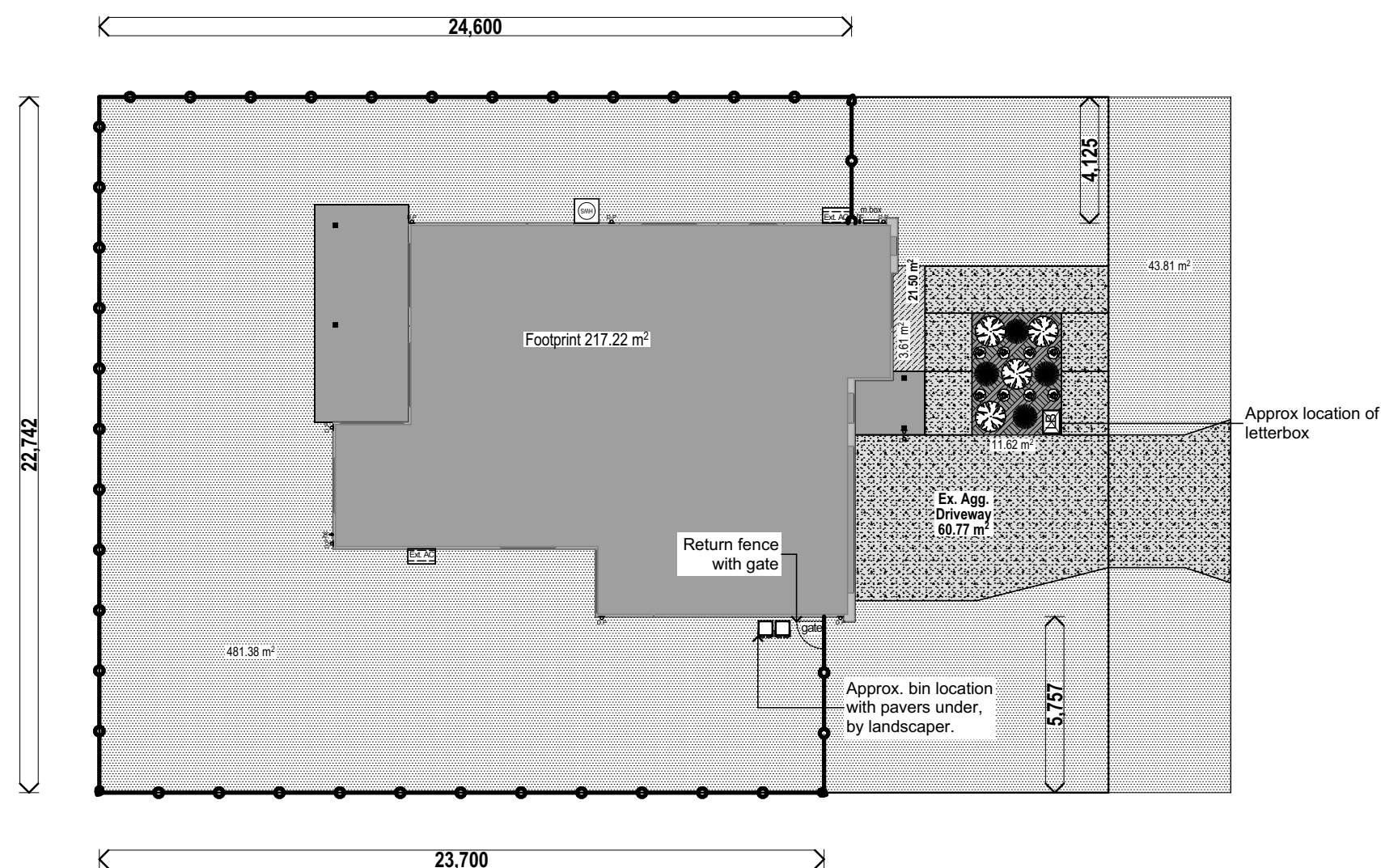
LANDSCAPING SUBJECT TO
CHANGED BASED ON SITE
CONDITIONS.

TURF MAY BE SUBSTITUTED WITH
LANDSCAPING GRAVEL TO AREAS OF
LOW LIGHT.

PROPOSED RETAINING WALLS AND
FENCING IS SUBJECT TO CHANGE.

PLANTS ARE INDICATIVE ONLY.

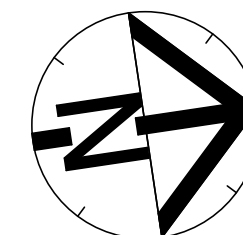
Lot - 56
SP - Disclosure
Parish - .
County - .
Authority - Lockyer Valley R.C.
Area - 820m²
Foot Print - 217.22m²




- TOTAL GARDEN BED AREA: APPROX 10M²
- 1 X TREE SPECIES
- 7 X SHRUBS
- 13 X GROUND COVERS

Scale 1:200

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ENDSCAPING

[illegible]

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